

**NASSAU COUNTY INDUSTRIAL
DEVELOPMENT AGENCY**

APPLICATION FOR FINANCIAL ASSISTANCE

APPLICATION OF:

Pictor Nassau Logistics Center LLC

APPLICANT NAME

Please respond to all questions in this Application for Financial Assistance (the “Application”) by, as appropriate:

- filling in blanks;
- checking the applicable term(s);
- attaching additional text (with notation in Application such as “see Schedule H, Item # 1”, etc.); or
- writing “N.A.”, signifying “not applicable”.

All attachments responsive to questions found in this Application should be clearly labeled and attached as Schedule I to the Application. If an estimate is given, enter “EST” after the figure. One signed original and one photocopy of the Application (including all attachments) must be submitted.

The following amounts are payable to the Nassau County Industrial Development Agency (the “Agency”) at the time this Application is submitted to the Agency: (i) a \$1,500 non-refundable application fee (the “Application Fee”); (ii) a \$3,500 expense deposit for the Agency’s Transaction/Bond Counsel fees and expenses (the “Counsel Fee Deposit”), (iii) a \$4,500 expense deposit for the cost/benefit analysis with respect to the project contemplated by this Application (the “Cost/Benefit Deposit”), and (iv) a \$500 expense deposit for the real property tax valuation analysis, if applicable, with respect to the project contemplated by this Application (the “Valuation Deposit”). The Application Fee will not be credited against any other fees or expenses which are or become payable to the Agency in connection with this Application or the project contemplated herein (the “Project”). In the event that the subject transaction does not close for any reason, the Agency may use all or any part of the Counsel Fee Deposit, the Cost/Benefit Deposit and/or the Valuation Deposit to defray the cost of Transaction/Bond Counsel fees and expenses, the cost of obtaining a cost/benefit analysis and/or the cost of obtaining a real property tax valuation with respect to the Project. In the event that the subject transaction does close, the Counsel Fee Deposit, the Cost/Benefit Deposit and the Valuation Deposit shall be credited against the applicable expenses incurred by the Agency with respect to the Project.

Every signature page comprising part of this Application must be signed by the Applicant or this Application will not be considered complete or accepted for consideration by the Agency.

The Agency's acceptance of this Application for consideration does not constitute a commitment on the part of the Agency to undertake the proposed Project, to grant any financial assistance with respect to the proposed Project or to enter into any negotiations with respect to the proposed Project.

Information provided herein may be subject to disclosure under the New York Freedom of Information Law (New York Public Officers Law § 84 et seq.) ("FOIL"). If the Applicant believes that a portion of the material submitted with this Application is protected from disclosure under FOIL, the Applicant should mark the applicable section(s) or page(s) as "confidential" and state the applicable exception to disclosure under FOIL.

2/16/22

DATE

PART I. APPLICANT

A. APPLICANT FOR FINANCIAL ASSISTANCE:

Name: Pictor Nassau Logistics Center LLC

Address: Brookfield Place, 250 Vesey St., 15th Floor, New York, NY 10281

Fax: _____

NY State Dept. of
Labor Reg #: _____ Federal Employer ID #:

NAICS Code #: 551112

Website: www.brookfieldproperties.com

Name of CEO or
Authorized Representative Certifying Application: Gautam Huded

Title of Officer: Vice President

Phone Number: E-Mail:

B. BUSINESS TYPE (Check applicable status. Complete blanks as necessary):

Sole Proprietorship _____ General Partnership _____ Limited Partnership _____

Limited Liability Company X Privately Held Corporation _____

Publicly Held Corporation _____ Exchange listed on _____

Not-for-Profit Corporation _____

Income taxed as: Subchapter S _____ Subchapter C X

501(c)(3) Corporation _____ Partnership _____

State and Year of Incorporation/Organization: Delaware-2021

Qualified to do Business in New York: Yes X No _____ N/A _____

C. APPLICANT COUNSEL:

Firm name: Forchelli Deegan Terrana LLP

Address: 333 Earle Ovington Blvd, Suite 1010, Uniondale, NY 11553

Primary Contact: Daniel P. Deegan, Esq.

Phone: (516) 248-1700

Fax: _____

E-Mail: DDeegan@Forchellilaw.com

D. Principal stockholders, members or partners, if any (i.e., owners of 10% or more of equity/voting rights in Applicant):

Name	Percentage owned
<u>Brookfield Strategic Real Estate Partners IV</u>	<u>100</u> %
<u>(See Corporate Disclosure Statement)</u>	_____ %
_____	_____ %

E. If any of the persons described in the response to the preceding Question, or a group of said persons, owns more than a 50% interest in the Applicant, list all other entities which are related to the Applicant by virtue of such persons having more than a 50% interest in such entities:

Brookfield Strategic Real Estate Partners IV ("BSREP IV") is a fund which owns interest in multiple real estate investments (See Corporate Disclosure Statement).

F. Is the Applicant related to any other entity by reason of more than 50% common ownership? If YES, indicate name of related entity and relationship:

YES X NO _____

BSREP IV indirectly owns multiple limited liability companies which own various real estate investments (See Corporate Disclosure Statement).

G. List parent corporation, sister corporations and subsidiaries, if any:

Brookfield Asset Management Inc.; all other wholly owned subsidiaries of BSREP IV.

(See Corporate Disclosure Statement).

H. Has the Applicant (or any parent company, subsidiary, affiliate or related entity or person) been involved in, applied for or benefited by any prior industrial development financing in the municipality in which this Project is located, whether by the Agency or another issuer, or in a contiguous municipality? (“Municipality” herein means city, town or village, or, if the Project is not in an incorporated city or village, Nassau County.) If YES, describe:

YES X

NO ____

Town of Hempstead IDA: 107 Charles Lindbergh Blvd., Uniondale, New York by affiliated entity BSREP III 107 Charles Lindbergh Boulevard LLC.

I. Is the Applicant (or any parent company, subsidiary, affiliate or related entity or person) or any principal(s) of the Applicant or its related entities involved in any litigation or aware of any threatened litigation that would have a material adverse effect on the Applicant’s financial condition or the financial condition of said principal(s)? If YES, attach details at Schedule I.

YES ____

NO X

J. Has the Applicant (or any parent company, subsidiary, affiliate or related entity or person) or any principal(s) of the Applicant or its related entities, or any other business or concern with which such entities, persons or principal(s) have been connected, ever been involved, as debtor, in bankruptcy, creditors rights or receivership proceedings or sought protection from creditors? If YES, attach details at Schedule I.

YES ____

NO X

K. Has the Applicant (or any parent company, subsidiary, affiliate or related entity or person) or any principal(s) of the Applicant or its related entities, ever been convicted of any felony or misdemeanor (other than minor traffic offenses), or have any such related persons or principal(s) held positions or ownership interests in any firm or corporation that has been convicted of a felony or misdemeanor (other than minor traffic offenses), or are any of the foregoing the subject of a pending criminal proceeding or investigation? If YES, attach details at Schedule I.

YES ____

NO X

L. Has the Applicant (or any parent company, subsidiary, affiliate or related entity or person) or any principal(s) of the Applicant or its related entities, or any other business or concern with which such entities, persons or principal(s) have been connected, been cited for (or is there a pending proceeding or investigation with respect to) a civil violation of federal, state or local laws or regulations with respect to labor practices, hazardous wastes, environmental pollution, taxation, or other operating practices? If YES, attach details at Schedule I.

YES _____

NO X

M. Is the Applicant (or any parent company, subsidiary, affiliate or related entity or person) or any principal(s) of the Applicant or its related entities, or any other business or concern with which such entities, persons or principal(s) have been connected, delinquent or have any of the foregoing persons or entities been delinquent on any New York State, federal or local tax obligations within the past five (5) years? If YES, attach details at Schedule I.

YES _____

NO X

N. Complete the following information for principals (including, in the case of corporations, officers and members of the board of directors and, in the case of limited liability company, members and managers) of the Applicant:

<u>Name</u>	<u>Title</u>	<u>Other Business Affiliations</u>
Brookfield Asset Management Inc.—See Corporate Disclosure Statement		
_____	_____	_____
_____	_____	_____
_____	_____	_____

Do any of the foregoing principals hold elected or appointive positions with New York State, any political division of New York State or any other governmental agency? If YES, attach details at Schedule I.

YES _____

NO X

Are any of the foregoing principals employed by any federal, state or local municipality or any agency, authority, department, board, or commission thereof or any other governmental or quasi-governmental organization?

YES _____

NO X

O. Operation at existing location(s) (Complete separate Section O for each existing location):

1. (a) Location: Not Applicable
- (b) Number of Employees: Full-Time: N/A Part-Time: N/A
- (c) Annual Payroll, excluding benefits: N/A
- (d) Type of operation (e.g. manufacturing, wholesale, distribution, retail, etc.) and products or services: N/A

(e) Size of existing facility real property
(i.e., acreage of land): N/A

(f) Buildings (number and square footage of each): N/A

(g) Applicant's interest in the facility

FEE Title: Lease: Other (describe below):

N/A

2. Will the completion of the proposed Project result in the removal of a plant or facility of the Applicant, or of a proposed user, occupant or tenant of the Project, or a relocation of any employee of the Applicant, or any employee of a proposed user, occupant or tenant of the Project, from one area of the State of New York (but outside of Nassau County) to a location in Nassau County or in the abandonment of such a plant or facility located in an area of the State of New York outside of Nassau County? If YES, complete the attached Anti-Raiding Questionnaire (Schedule D).

YES NO X

3. Will the proposed Project result in the removal or abandonment of a plant or facility of the Applicant, or of a proposed user, occupant or tenant of the proposed Project, or a relocation of any employee of the Applicant, or any employee of a proposed user, occupant or tenant of the proposed Project, located within Nassau County? If YES, identify the location of the plant or facility and provide explanation.

YES NO X

N/A

P. Has the Applicant considered moving to another state or another location within New York State? If YES, explain circumstances.

YES NO X

N/A

Q. Does any one supplier or customer account for over 50% of Applicant's annual purchases or sales, respectively? If YES, attach name and contact information for supplier and/or customer, as applicable: Not Applicable

YES NO

R. Does the Applicant (including any related entity or person) or any principal(s) of the Applicant or its related entities, or any other business or concern with which such entities, persons or principal(s) have been connected, have any contractual or other relationship with the Agency or the County of Nassau? If YES, attach details at Schedule I.

YES _____

NO X _____

S. Nature of Applicant's business (e.g., description of goods to be sold, products manufactured, assembled or processed, services rendered):

N/A

T. ANY RELATED PARTY PROPOSED TO BE A USER OF THE PROJECT:

Name: TBD _____

Relationship to Applicant: TBD _____

Applicant expects to rent warehouse space to a third-party tenant that is to be determined.

Provide the information requested in Questions A through S above with respect to each such party by attachment at Schedule I.

PART II. PROPOSED PROJECT

A. Types of Financial Assistance Requested:

- Tax-Exempt Bonds
- Taxable Bonds
- Refunding Bonds
- Sales/Use Tax Exemption
- Mortgage Recording Tax Exemption
- Real Property Tax Exemption
- Other (specify): _____

B. Type of Proposed Project (check all that apply and provide requested information):

- New Construction of a Facility
Square footage: 207,237 SF Warehouse
- Addition to Existing Facility
Square footage of existing facility: _____
Square footage of addition: _____
- Renovation of Existing Facility
Square footage of area renovated: _____
Square footage of existing facility: _____
- Acquisition of Land/Building
Acreage/square footage of land: 15.0829
Square footage of building: N/A
- Acquisition of Furniture/Machinery/Equipment
List principal items or categories:
Furniture, Fixtures and Equipment
- Other (specify): _____

C. Briefly describe the purpose of the proposed Project, the reasons why the Project is necessary to the Applicant and why the Agency's financial assistance is necessary, and the effect the Project will have on the Applicant's business or operations:

The project will revitalize a vacant State superfund site; further the project will allow the applicant to expand its market in Nassau County, while also creating much needed construction jobs and new permanent positions. Due to the high construction costs, the Agency's assistance is necessary.

D. Is there a likelihood that the proposed Project would not be undertaken by the Applicant but for the granting of the financial assistance by the Agency? (If yes, explain; if no, explain why the Agency should grant the financial assistance with respect to the proposed Project)

YES X NO

Due to costs of construction and the high property taxes, the Applicant would explore alternative locations if not for the Agency's assistance.

E. If the Applicant is unable to arrange Agency financing or other Agency financial assistance for the Project, what will be the impact on the Applicant and Nassau County? Would the Applicant proceed with the Project without Agency financing or other Agency financial assistance? Describe.

The Applicant would forego the multi-million-dollar construction project and would explore developing the warehouse in northern New Jersey where there are lower taxes; the County would lose out on the redevelopment of a vacant Superfund site, and would also lose out on much needed construction jobs and permanent full-time positions.

F. Location of Project:

Street Address: 125 New South Road

City/Village(s): Hicksville

Town(s): Oyster Bay

School District(s): Hicksville

Tax Map Section: 46 Block: N Lot: 30 & 31

Census Tract Number: 5193.00

G. Present use of the Project site: Partially Paved Vacant Land.

H. (a) What are the current real estate taxes on the Project site? (If amount of current taxes is not available, provide assessed value for each):

General: \$ 185,270
School: \$ 216,717
Village: \$ N/A

(b) Are tax certiorari proceedings currently pending with respect to the Project real

property? If YES, attach details at Schedule I including copies of pleadings, decisions, etc.

YES _____

NO X

I. Describe proposed Project site ownership structure (*i.e.*, Applicant or other entity):

Applicant acquired title on 7/28/2021.

J. To what purpose will the building or buildings to be acquired, constructed or renovated be used by the Applicant? (Include description of goods to be sold, products to be manufactured, assembled or processed and services to be rendered.)

Applicant will rent warehouse space to a third-party tenant that is to be determined.

K. If any space in the Project is to be leased to or occupied by third parties (*i.e.*, parties not related to the Applicant), or is currently leased to or occupied by third parties who will remain as tenants, provide the names and contact information for each such tenant, indicate total square footage of the Project to be leased to each tenant, and describe proposed use by each tenant:

Applicant will rent warehouse space to a third-party tenant that is to be determined.

L. Provide, to the extent available, the information requested, in Part I, Questions A, B, D and O, with respect to any party described in the preceding response.

Lessee to be determined.

M. Does the proposed Project meet zoning/land use requirements at proposed location?

YES X

NO _____

1. Describe present zoning/land use: Light Industrial

2. Describe required zoning/land use, if different: N/A

3. If a change in zoning/land use is required, please provide details/status of any request for change of zoning/land use requirements:

Not Applicable

N. Does the Applicant, or any related entity or person, currently hold a lease or license on

the Project site? If YES, please provide details and a copy of the lease/license.

YES _____ NO X

O. Does the Applicant, or any related entity or person, currently hold fee title to (i.e. own) the Project site?

YES X NO _____

If YES, indicate:

- (a) Date of purchase: 7/28/2021
- (b) Purchase price: \$ 46,267,543
- (c) Balance of existing mortgage, if any: \$N/A
- (d) Name of mortgage holder: N/A
- (e) Special conditions: _____

If NO, indicate name of present owner of Project site: N/A

P. Does the Applicant or any related person or entity have an option or a contract to purchase the Project site and/or any buildings on the Project site?

YES _____ NO X

If YES, attach copy of contract or option at Schedule I and indicate:

- (a) Date signed: N/A
- (b) Purchase price: \$ N/A
- (c) Closing date: N/A

Is there a relationship legally or by virtue of common control or ownership between the Applicant (and/or its principals) and the seller of the Project (and/or its principals)?

If YES, describe:

YES _____ NO X

Q. Will customers personally visit the Project site for either of the following economic activities? If YES with respect to either economic activity indicated below, complete the attached Retail Questionnaire (Schedule E).

Sales of Goods: YES _____ NO X Sales of Services: YES _____ NO X

R. Describe the social and economic conditions in the community where the Project site is or will be located and the impact of the proposed Project on the community (including impact on infrastructure, transportation, fire and police and other government-provided services):

The Project is located entirely within the Town of Oyster Bay's Light Industry zone, adjacent to and northeast of the Long Island Railroad tracks. The Project will revitalize a blighted site with the development of a LEED certified warehouse, stormwater management facilities and landscaping. The Project will also connect to existing water and sewer facilities, and is not expected to significantly tax any of the municipal services that will be utilized.

S. Identify the following Project parties (if applicable):

Architect: _____

Engineer: Langan Engineering

Contractors: _____

T. Will the Project be designed and constructed to comply with Green Building Standards? (if YES, describe the LEED green building rating that will be achieved):

YES X NO _____

Building will be LEED certified.

U. Is the proposed Project site located on a Brownfield? (if YES, provide description of contamination and proposed remediation)

YES X NO _____

Redevelopment of former Hooker Chemical/RUCO Polymers State Superfund Site.

V. Will the proposed Project produce a unique service or product or provide a service that is not otherwise available in the community in which the proposed Project site is located?

YES _____ NO X

W. Is the proposed Project site currently subject to an IDA transaction (whether through the Agency or otherwise)? If yes, explain.

YES _____

NO X _____

PART III. CAPITAL COSTS OF THE PROJECT

A. Provide an estimate of cost of all items listed below:

	<u>Item</u>	<u>Cost</u>
1.	Land and/or Building Acquisition	\$ <u>46,267,543*</u>
2.	Building Demolition	\$ <u>0</u>
3.	Construction/Reconstruction/Renovation	\$ <u>25,326,662</u>
4.	Site Work	\$ <u>7,287,460</u>
5.	Infrastructure Work	\$ <u>0</u>
6.	Architectural/Engineering Fees	\$ <u>1,300,000</u>
7.	Applicant's Legal Fees	\$ <u>422,148</u>
8.	Financial Fees	\$ <u>7,703,095</u>
9.	Other Professional Fees	\$ <u>3,798,473</u>
10.	Furniture, Equipment & Machinery Acquisition (not included in 3. above)	\$ <u>0</u>
11.	Other Soft Costs (Building Permit and Impact fees, Taxes during construction, Builder's risk insurance, marketing, Development Fees, Construction Loan Costs, LEED Cert, Insurance, Contingence)	\$ <u>2,914,248</u>
12.	Other (Tenant and Leasing Costs)	\$ <u>4,384,330</u>
	Total	\$ <u>99,403,959</u>

B. Estimated Sources of Funds for Project Costs:

a.	Tax-Exempt IDA Bonds:	\$ <u>0</u>
b.	Taxable IDA Bonds:	\$ <u>0</u>
c.	Conventional Mortgage Loans:	\$ <u>65,000,000**</u>
d.	SBA or other Governmental Financing: Identify: _____	\$ <u>0</u>
e.	Other Public Sources (e.g., grants, tax credits): Identify: _____	\$ <u>0</u>

f.	Other Loans:	\$ _____
g.	Equity Investment: (excluding equity attributable to grants/tax credits)	<u>\$34,403,959</u>
	TOTAL	<u>\$99,403,959**</u>

* Already Incurred

** Includes refinance of acquisition cost

What percentage of the total project costs are funded/financed from public sector sources: 0 %

C. Have any of the above costs been paid or incurred (including contracts of sale or purchase orders) as of the date of this application? If YES, describe particulars on a separate sheet.

YES _____ NO X _____

D. Are items of working capital, moving expenses, work in progress, or stock in trade included in the proposed uses of the bond proceeds (if applicable)? If YES, provide details:

YES _____ NO _____ NOT APPLICABLE X _____

E. Will any of the funds to be borrowed through the Agency's issuance of bonds, if applicable, be used to repay or refinance an existing mortgage, outstanding loan or an outstanding bond issue? If YES, provide details:

YES _____ NO _____ NOT APPLICABLE X _____

F. Has the Applicant made any arrangement for the marketing or the purchase of the bonds or the provision of other third party financing (if applicable)? If YES, indicate with whom (subject to Agency approval) and provide a copy of any term sheet or commitment letter issued with respect to such financing.

YES _____ NO _____ NOT APPLICABLE X _____

- G. Construction Cost Breakdown:
- Total Cost of Construction: \$ 32,614,122 (sum of 2-5 and 10 in Question A above)
- Cost for materials: \$ 19,568,863
- % Sourced in County: TBD %
- % Sourced in State: TBD % (incl. County)
- Cost for labor: \$ 13,045,259
- % Sourced in County: TBD %
- % Sourced in State: TBD % (incl. County)
- Cost for "other": \$ 0
- % Sourced in County: _____ %
- % Sourced in County: _____ % (incl. County)

The Applicant acknowledges that the transaction/bond documents may include a covenant by the Applicant to undertake and document the total amount of capital investment as set forth in this Application.

PART IV. COST/BENEFIT ANALYSIS

- A. If the Applicant presently operates in Nassau County, provide the current annual payroll. Estimate projected payroll at the Project site in First Year, Second Year and Third Year after completion of the Project:

	<u>Present</u>	<u>First Year</u>	<u>Second Year</u>	<u>Third Year</u>
Full-time:	\$ <u>N/A</u>	\$ <u>TBD</u>	\$ <u>TBD</u>	\$ <u>TBD</u>
Part-time: ¹	N/A			

List the average salaries or provide ranges of salaries for the following categories of jobs (on a full-time equivalency basis) projected to be retained/created in Nassau County as a result of the proposed Project:

<u>Category of Jobs to be Retained:</u>	<u>Average Salary or Range of Salary:</u>	<u>Average Fringe Benefits or Range of Fringe Benefits</u>
Management	N/A	
Professional	N/A	
Administrative	N/A	
Production	N/A	
Supervisor	N/A	
Laborer	N/A	

¹NOTE: The Agency converts part-time jobs into FTE's for evaluation and reporting purposes by dividing the number of part-time jobs by two (2).

Independent Contractor ²		
Other		

<u>Category of Jobs to be Created:</u>	<u>Average Salary or Range of Salary:</u>	<u>Average Fringe Benefits or Range of Fringe Benefits</u>
Management	TBD	
Professional	TBD	
Administrative	TBD	
Production	TBD	
Supervisor	TBD	
Laborer	TBD	
Independent Contractor ³	TBD	
Other	TBD	

The Agency may utilize the foregoing employment projections and the projections set forth in Schedule C, among other things, to determine the financial assistance that will be offered by the Agency to the Applicant. The Applicant acknowledges that the transaction/bond documents may include a covenant by the Applicant to retain the number of jobs, types of occupations and amount of payroll with respect to the Project set forth in this Application.

- B. (i) Will the Applicant transfer current employees from existing location(s)? If YES, describe, please describe the number of current employees to be transferred and the location from which such employees would be transferred:

YES _____

NO X _____

Not Applicable

- (ii) Describe the number of estimated full time equivalent construction jobs to be created as a result of undertaking the project, to the extent any:

Approx. 75

² As used in this chart, this category includes employees of independent contractors.

³ As used in this chart, this category includes employees of independent contractors.

- C. What, if any, is the anticipated increase in the dollar amount of production, sales or services following completion of the Project?

\$ TBD

What percentage of the foregoing amount is subject to New York sales and use tax?

TBD %

What percentage of the Applicant's total dollar amount of production, sales or services (including production, sales or services rendered following completion of the Project) are made to customers outside the economic development region (i.e., Nassau and Suffolk Counties)?

TBD %

Describe any other municipal revenues that will result from the Project (excluding the above and any PILOT payments):

Town of Oyster Bay Planning Department and Building Department Fees

- D. What is the estimated aggregate annual amount of goods and services to be purchased by the Applicant for each year after completion of the Project and what portion will be sourced from businesses located in the County and the State (including the County):

	<u>Amount</u>	<u>% Sourced in County</u>	<u>% Sourced in State</u>
Year 1	\$ <u>TBD</u>	_____	_____
Year 2	\$ <u>TBD</u>	_____	_____
Year 3	\$ <u>TBD</u>	_____	_____

- E. Describe, if applicable, other benefits to the County anticipated as a result of the Project, including a projected annual estimate of additional sales tax revenue generated, directly and indirectly, as a result of undertaking the project:

Project will redevelop approximately 15-acreas of partially paved, vacant land, which will create a new higher tax rate, phased in over time.

- F. Estimated Value of Requested Financial Assistance:

Estimated Value of Sales Tax Benefit: \$1,687,814
 (i.e., gross amount of cost of goods and services that are subject to state and local sales and use taxes multiplied by 8.625%)

Estimated Value of Mortgage Tax Benefit: \$487,500
(i.e., principal amount of mortgage loans multiplied by [0.75%])

Estimated Property Tax Benefit:

Will the proposed Project utilize a property tax exemption benefit other than from the Agency: No
(if so, please describe)

Term of PILOT Requested: 20

Existing Property Taxes on Land and Building: \$ 401,987

Estimated Property Taxes on completed Project: \$ TBD
(without Agency financial assistance)

NOTE: Upon receipt of this Application by the Agency, the Agency's staff will create a PILOT schedule and estimate the amount of PILOT Benefit/Cost utilizing anticipated tax rates and assessed valuation, and attach such information as Exhibit A hereto.

- G. Describe and estimate any other one-time municipal revenues (not including fees payable to the Agency) that the Project will create:

Town of Oyster Bay Planning Department and Building Department Fees

PART V. PROJECT SCHEDULE

- A. If applicable, has construction/reconstruction/renovation work on the Project begun? If YES, indicate the percentage of completion:

1. (a) Site clearance YES ___ NO X ___ % complete

(b) Environmental Remediation YES ___ NO X ___ % complete

(c) Foundation YES ___ NO X ___ % complete

(d) Footings YES ___ NO X ___ % complete

- (e) Steel YES NO _____% complete
(f) Masonry YES NO _____% complete
(g) Interior YES NO _____% complete
(h) Other (describe below): YES NO _____% complete

2. If NO to all of the above categories, what is the proposed date of commencement of construction, reconstruction, renovation, installation or equipping of the Project?

May 2023

- B. Provide an estimate of time schedule to complete the Project and when the first use of the Project is expected to occur:

Completion 5/31/2024; Expected Building Stabilization (Full Occupancy): 5/31/2025

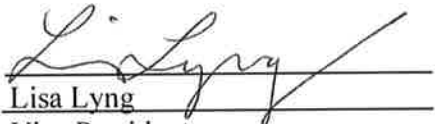
PART VI. ENVIRONMENTAL IMPACT

- A. What is the expected environmental impact of the Project? (Complete the attached Environmental Assessment Form (Schedule G)).
Site is enrolled in the NYS Superfund Program; any redevelopment work will be completed in accordance with NYSDEC Site Management Plan and through additional reporting to the Town of Oyster Bay DER.
- B. Is an environmental impact statement required by Article 8 of the N.Y.Environmental Conservation Law (i.e., the New York State Environmental Quality Review Act)?
YES _____ NO
- C. Please be advised that the Agency may require at the sole cost and expense of the Applicant the preparation and delivery to the Agency of an environmental report inform and scope satisfactory to the Agency, depending on the responses set forth in the Environmental Assessment Form. If an environmental report has been or is being prepared in connection with the Project, please provide a copy.
- D. The Applicant authorizes the Agency to make inquiry of the United States Environmental Protection Agency, the New York State Department of Environmental Conservation or

any other appropriate federal, state or local governmental agency or authority as to whether the Project site or any property adjacent to or within the immediate vicinity of the Project site is or has been identified as a site at which hazardous substances are being or have been used, stored, treated, generated, transported, processed, handled, produced, released or disposed of. The Applicant will be required to secure the written consent of the owner of the Project site to such inquiries (if the Applicant is not the owner), upon request of the Agency.

THE UNDERSIGNED HEREBY CERTIFIES, under penalties of perjury, that the answers and information provided above and in any schedule, exhibit or statement attached hereto are true, accurate and complete, to the best of the knowledge of the undersigned.

Name of
Applicant: Pictor Nassau Logistics Center
LLC

Signature: 
Name: Lisa Lyng
Title: Vice President
Date: 2/9/22

Sworn to before me this 9th
day of February, 2022


Notary Public

Samuel Tyler Hart
Notary Public, State of New York
Reg. No. 01HA6389394
Qualified in New York County
My Commission Expires 03/25/2023

**CERTIFICATIONS AND ACKNOWLEDGMENTS
OF THE APPLICANT**

FIRST:

The Applicant hereby certifies that, if financial assistance is provided by the Agency for the proposed project, no funds of the Agency (i) shall be used in connection with the Project for the purpose of preventing the establishment of an industrial or manufacturing plant or for the purpose of advertising or promotional materials which depict elected or appointed government officials in either print or electronic media, (ii) be given to any group or organization which is attempting to prevent the establishment of an industrial or manufacturing plant within the State.

SECOND:

The Applicant hereby certifies that no member, manager, principal, officer or director of the Applicant or any affiliate thereof has any blood, marital or business relationship with any member of the Agency (or any member of the family of any member of the Agency).

THIRD:

The Applicant hereby certifies that neither the Applicant nor any of its affiliates, nor any of their respective partners, members, shareholders or other equity owners (other than equity owners of publicly-traded companies), nor any of their respective employees, officers, directors, or representatives (i) is a person or entity with whom United States persons or entities are restricted from doing business under regulations of the Office of Foreign Asset Control (OFAC) of the Department of the Treasury, including those named on OFAC's Specially Designated and Blocked Persons List, or under any statute, executive order or other governmental action, or (ii) has engaged in any dealings or transactions or is otherwise associated with such persons or entities.

FOURTH:

The Applicant hereby acknowledges that the Agency shall obtain and hereby authorizes the Agency to obtain credit reports and other financial background information and perform other due diligence on the Applicant and/or any other entity or individual related thereto, as the Agency may deem necessary to provide the requested financial assistance.

FIFTH:

The Applicant hereby certifies that each owner, occupant or operator that would receive financial assistance with respect to the proposed Project is in substantial compliance with applicable federal, state and local tax, worker protection and environmental laws, rules and regulations.

SIXTH:

The Applicant hereby acknowledges that the submission to the Agency of any knowingly false or knowingly misleading information may lead to the immediate termination of any financial assistance and the recapture from the Applicant of an amount equal to all or any part of any tax exemption claimed by reason of the Agency's involvement in the Project.

SEVENTH:

The Applicant hereby certifies that, as of the date of this Application, the Applicant is in substantial compliance with all provisions of Article 18-A of the General Municipal Law, including, but not limited to, the provisions of Section 859-a and Section 862(1) thereof.

EIGHTH:

(i) Does the Project propose the creation of housing?

YES _____ NO X _____

If YES, how many units? _____

If YES, the Applicant hereby certifies that:

(a) the Applicant has adopted a Fair Housing/Equal Housing Opportunity Policy substantially in the form of Exhibit B to this Application;

(b) the proposed Project complies with applicable fair housing laws and that eligibility criteria for housing in any part of the Project will not include any residency requirements or preferences, including durational ones, age restrictions (unless for senior housing permitted by law), or other discriminatory criteria;

(c) the Applicant (1) has posted its Fair Housing/Equal Housing Opportunity Policy publicly; and (2) will display fair housing law posters for consumers in its rental or sales office(s), in a form substantially similar to the model fair housing posters attached to this Application as Exhibit C (the Agency will provide applicants with fair housing law posters for display upon request by an applicant); and

(d) key employees of the Applicant in charge of marketing and rental of the Project have completed (or will complete within one year of closing) four (4) hours of fair housing training provided by Long Island Housing Services (“LIHS”) at a reasonably acceptable time and location and at no additional cost to the Applicant. In the event LIHS declines to provide or make available reasonably acceptable no-cost fair housing training, the provisions of this Certification VIII(i)(d) shall cease to be of any force and effect.

(ii) If YES to (i) above, does the Project propose the creation of “affordable” or “workforce” housing (“Affordable Housing”)?

YES _____ NO _____

If YES, the Applicant hereby certifies that the Applicant (1) has adopted a non-discriminatory affirmative marketing plan that meets the criteria set forth in Exhibit D to this Application; and (2) will submit such marketing plan to the Agency in writing prior to closing.

If YES, answer the following questions:

(a) What portion of the Project would consist of Affordable Housing (e.g., number of units)?

(b) What are the eligibility requirements for the Affordable Housing?

(c) Cite the specific source of such eligibility requirements (e.g., federal, state or local law).

Name of
Applicant: Pictor Nassau Logistics Center LLC

By: 
Name: Lisa Lyng
Title: Vice President

**CERTIFICATION AND AGREEMENT
WITH RESPECT TO FEES AND COSTS**

Capitalized terms used but not otherwise defined in this Certification and Agreement shall have the meanings assigned to such terms in the Application.

The undersigned, being duly sworn, deposes and says, under penalties of perjury, as follows: that I am the chief executive officer or other representative authorized to bind the Applicant named in the attached application for financial assistance (“Application”) and that I hold the office specified below my signature at the end of this Certification and Agreement, that I am authorized and empowered to deliver this Certification and Agreement and the Application for and on behalf of the Applicant, that I am familiar with the contents of said Application (including all schedules, exhibits and attachments thereto), and that said contents are true, accurate and complete to the best of my knowledge and belief.

The grounds of my belief relative to all matters in the Application that are not based upon my own personal knowledge are based upon investigations I have made or have caused to be made concerning the subject matter of this Application, as well as upon information acquired in the course of my duties and from the books and records of the Applicant.

As an authorized representative of the Applicant, I acknowledge and agree on behalf of the Applicant that the Applicant hereby releases the Nassau County Industrial Development Agency, its members, officers, servants, attorneys, agents and employees (collectively, the “Agency”) from, agrees that the Agency shall not be liable for and agrees to indemnify, defend (with counsel selected by the Agency) and hold the Agency harmless from and against any and all liability, damages, causes of actions, losses, costs or expenses incurred by the Agency in connection with: (A) examination and processing of, and action pursuant to or upon, the Application, regardless of whether or not the Application or the financial assistance requested therein are favorably acted upon by the Agency, (B) the acquisition, construction, reconstruction, renovation, installation and/or equipping of the Project by the Agency, and (C) any further action taken by the Agency with respect to the Project; including, without limiting the generality of the foregoing, (i) all fees and expenses of the Agency’s general counsel, transaction/bond counsel, economic development consultant, real property tax valuation consultant and other attorneys, experts and consultants (if deemed necessary or advisable by the Agency), and (ii) all other expenses (including attorneys’ fees) incurred by the Agency in defending any suits, actions or proceedings that may arise as a result of any of the foregoing. If, for any reason whatsoever, the Applicant fails to conclude or consummate necessary negotiations or fails within a reasonable or specified period of time to take reasonable, proper or requested action or withdraws, abandons, cancels, or neglects the Application or if the Applicant is unable to find buyers willing to purchase the total bond issue required or is unable to secure other third party financing or otherwise fails to conclude the Project, then upon presentation of an invoice by the Agency, its agents, attorneys or assigns, the Applicant shall pay to the Agency, its agents, attorneys or assigns, as the case may be, all fees and expenses reflected in any such invoice.

As an authorized representative of the Applicant, I acknowledge and agree on behalf of the Applicant that each of the Agency’s general counsel, transaction/bond counsel, economic development consultant, real property tax valuation consultant and other experts and consultants is an intended third-party beneficiary of this Certification and Agreement, and that each of them may (but shall not be obligated to) enforce the provisions of the immediately preceding paragraph, whether by lawsuit or otherwise, to collect the fees and expenses of such party or person incurred by the Agency (whether or not first paid by the Agency) with respect to the Application.

Upon successful closing of the required bond issue or other form of financing or Agency assistance, the Applicant shall pay to the Agency an administrative fee set by the Agency (which amount is payable at closing) in accordance with the following schedule:


- (A) Taxable Bond Issues Six-tenths (6/10) of one percent (1%) for the first twenty million dollars (\$20,000,000) of total project costs and, if applicable, two-tenths (2/10) of one percent (1%) for any additional amounts in excess of twenty million dollars (\$20,000,000) of total project costs.
- (B) Tax-Exempt Bond Issues – Six-tenths (6/10) of one percent (1%) of total project costs.
- (C) Straight-Lease Transactions Six-tenths (6/10) of one percent (1%) for the first twenty million dollars (\$20,000,000) of total project costs and, if applicable, two-tenths (2/10) of one percent (1%) for any additional amounts in excess of twenty million dollars (\$20,000,000) of total project costs
- (D) General Counsel Fee – One-tenth (1/10) of one percent (1%) of total project costs, with a minimum fee of \$4,000.
- (E) All Initial Transactions - Two Thousand Five Hundred Dollars (\$2,500) closing compliance fee payable at closing and One Thousand Dollars (\$1,000) per year (or part thereof) administrative fee, payable in advance, at the closing for the first year (or part thereof) and on January 1st of each year for the term of the financing. The annual service fee is subject to periodic review and may be adjusted from time to time in the discretion of the Agency.
- (F) Refundings – The Agency fee shall be determined on a case-by-case basis.
- (F) Assumptions – The Agency fee shall be determined on a case-by-case basis.
- (G) Modifications – The Agency fee shall be determined on a case-by-case basis, but in accordance with the following schedule.
 - A basic Consent - \$750
 - A Transfer of Benefits
 - Basic - \$3,000
 - Complex - \$6,000
 - Extensions - \$1,000
- (H) Terminations - The Agency fee shall be determined on a case-by-case basis, but in accordance with the following schedule.
 - Basic - \$2,000
 - Complex - \$2,500

The Agency's transaction/bond counsel fees and expenses are payable at closing and are based on the work performed in connection with the Project.

The Agency's transaction/bond counsel's fees, general counsel fee and the administrative fees may be considered as a cost of the Project and included as part of any resultant financing, subject to compliance with applicable law.

Guided by the above stated schedule amounts, upon the termination of the financing of the Project, Applicant agrees to pay all costs in connection with any conveyance by the Agency to the Applicant of the Agency's interest in the Project and the termination of all related Project documents, including the fees and expenses of the Agency's general counsel, bond/transaction counsel, and all applicable recording, filing or other related fees, taxes and charges.

I further acknowledge and agree on behalf of the Applicant that, in the event the Agency shall have used all of its available tax-exempt bond financing allocation from the State of New York, if applicable, and shall accordingly be unable to obtain an additional allocation for the benefit of the Applicant, the Agency shall have no liability or responsibility as a result of the inability of the Agency to issue and deliver tax-exempt bonds for the benefit of the Applicant.


Name: Lisa Lyng
Title: Vice President

Subscribed and affirmed to me this 9th
day of February, 2022


Notary Public

TABLE OF SCHEDULES:

<u>Schedule</u>	<u>Title</u>	<u>Complete as Indicated Below</u>
A.	Tax-Exempt Bond Manufacturing Questionnaire	If Applicant checked “YES” in Part I, Question H of Application, if applicable[[
B.	New York State Financial and Employment Requirements for Industrial Development Agencies	All applicants
C.	Guidelines for Access to Employment Opportunities	All applicants
D.	Anti-Raiding Questionnaire	If Applicant checked “YES” in Part I, Question O.2. of Application
E.	Retail Questionnaire	If Applicant checked “YES” in Part II, Question Q of Application
F.	Applicant’s Financial Attachments, consisting of:	All applicants
	1. Applicant’s financial statements for the last two fiscal years (unless included in Applicant’s annual reports).	
	2. Applicant’s annual reports (or Form 10-K’s) for the two most recent fiscal years.	
	3. Applicant’s quarterly reports (Form 10-Q’s) and current reports (Form 8-K’s) since the most recent Annual Report, if any.	
	4. In addition, attach the financial information described above in items F1, F2, and F3 of any anticipated Guarantor of the proposed transaction, if different than the Applicant, including the personal financial statement of any anticipated Guarantor that is a natural person.	
G.	Environmental Assessment Form	All applicants
H.	Form NYS-45 (and 45-ATT)	All applicants
I.	Other Attachments	As required

TAX-EXEMPT BOND MANUFACTURING QUESTIONNAIRE

(To be completed by the Applicant if the Applicant checked "YES" in Part I, Question H of the Application for Financial Assistance, if applicable). NOT APPLICABLE

Please complete the following questions for each facility to be financed. Use additional pages as necessary.

1. Describe the production process which occurs at the facility to be financed.

2. Allocate the facility to be financed by function (expressed in squarefootage) (e.g., production line, employee lunchroom, offices, restrooms, storage, warehouse, loading dock, repair shop, parking, research, sales, etc.) and location in relation to production (e.g., same building, adjacent land or building, off-site, etc.). Please attach blueprints of the facility to be financed.

<u>FUNCTION</u>	<u>LOCATION</u>	<u>SQ. FOOTAGE</u>
<hr/>	<hr/>	<hr/>
<hr/>	<hr/>	<hr/>
<hr/>	<hr/>	<hr/>

TOTAL

3. Of the space allocated to offices above, identify by function (e.g., executive offices, payroll, production, etc.) and location in relation to production (e.g., same building, adjacent land or building, off-site, etc.).

<u>FUNCTION</u>	<u>LOCATION</u>	<u>SQ. FOOTAGE</u>
<hr/>	<hr/>	<hr/>
<hr/>	<hr/>	<hr/>
<hr/>	<hr/>	<hr/>

TOTAL

4. Of the space allocated to storage or warehousing above, identify the square footage and location of the areas devoted to storage of the following:

SO. FOOTAGE

LOCATION

Raw Materials used
for production of
manufactured goods

Finished product storage

Component parts of
goods manufactured at
the facility

Purchased component
parts

Other (specify)

TOTAL

5. List raw materials used at the facility to be financed in the processing of the finished product(s).

6. List finished product(s) which are produced at the facility to be financed.

The UNDERSIGNED HEREBY CERTIFIES that the answers and information provided above and in any statement attached hereto are true and correct.

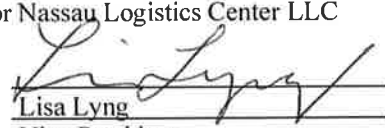
Name of
Applicant: Pictor Nassau Logistics Center LLC

Signature:

Name:

Title:

Date:



Lisa Lyng

Vice President

2/9/22

**NEW YORK STATE FINANCIAL AND EMPLOYMENT REPORTING
REQUIREMENTS FOR INDUSTRIAL DEVELOPMENT AGENCIES**

- A. Pursuant to applicable law, the Agency requires the completion of an Initial Employment Plan (see Schedule C) and a year-end employment plan status report, both of which shall be filed by the Nassau County Industrial Development Agency (the “Agency”) with the New York State Department of Economic Development. The Project documents will require the Applicant to provide such report to the Agency on or before February 11 of the succeeding year, together with such employment verification information as the Agency may require.

Except as otherwise provided by collective bargaining agreements, the Applicant agrees to list any new employment opportunities with the New York Department of Labor Community Services Division and the administrative entity of the service delivery area created by the Federal Job Training Partnership Act (P.L. 97-300), or any successor statute thereto (the “JTPA Entities”). In addition, except as otherwise provided by collective bargaining agreements, the Applicant, where practicable, will first consider persons eligible to participate in JTPA programs who shall be referred by the JTPA Entities for such new employment opportunities.

- B. The Applicant will be required to file annually a statement with the New York State Department of Taxation and Finance and the Agency of the value of all sales or use tax exemptions claimed in connection with the Project by reason of the involvement of the Agency.
- C. The following information must be provided for all bonds issued, outstanding or retired during the year:

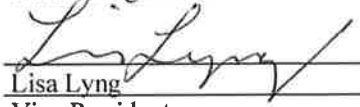
Name, address and owner of the project; total amount of tax exemptions granted (broken out by state and local sales tax, property taxes, and mortgage recording tax); payments in lieu of taxes made; total real estate taxes on the Project prior to exemption; number of jobs created and retained, and other economic benefits realized.

Date of issue; interest rate at end of year; bonds outstanding at beginning of year; bonds issued during year; principal payments made during year; bonds outstanding at end of year; federal tax status; and maturity date(s).

Failure to provide any of the aforesaid information will be constitute a DEFAULT under the Project documents to be entered into by the Agency and the Applicant in connection with the proposed Project.

Please sign below to indicate that the Applicant has read and understood the above and agrees to provide the described information on a timely basis.

Name of Applicant: Pictor Nassau Logistics Center LLC

Signature: 

Name: Lisa Lyng

Title: Vice President

Date: 2/9/22

GUIDELINES FOR ACCESS TO EMPLOYMENT OPPORTUNITIES**INITIAL EMPLOYMENT PLAN**

Prior to the expenditure of bond proceeds or the granting of other financial assistance, the Applicant shall complete the following initial employment plan:

Applicant Name: Pictor Nassau Logistics Center LLC

Address: Brookfield Place, 250 Vesey St., 15th Floor, New York, NY 10281

Type of Business: Real Estate Holding Company

Contact Person: Samuel Hart Tel. No.: 646-887-0893

Please complete the following table describing the projected full-time equivalent employment plan for the proposed Project following receipt of financial assistance:

<u>Current and Planned Occupations</u>	<u>Present Jobs Per Occupation</u>	<u>Estimated Number of Full Time Equivalent Jobs After Completion of the Project:⁴</u>			<u>Estimate of Number of Residents of the LMA⁵ that would fill such jobs by the third year</u>
		<u>1 year</u>	<u>2 years</u>	<u>3 years</u>	
<u>Management</u>	<u>0</u>	<u>TBD</u>	<u>TBD</u>	<u>TBD</u>	
<u>Professional</u>	<u>0</u>	<u>TBD</u>	<u>TBD</u>	<u>TBD</u>	
<u>Administrative</u>	<u>0</u>	<u>TBD</u>	<u>TBD</u>	<u>TBD</u>	
<u>Production</u>	<u>0</u>	<u>TBD</u>	<u>TBD</u>	<u>TBD</u>	
<u>Supervisor</u>	<u>0</u>	<u>TBD</u>	<u>TBD</u>	<u>TBD</u>	
<u>Laborer</u>	<u>0</u>	<u>TBD</u>	<u>TBD</u>	<u>TBD</u>	
<u>Independent Contractor</u>	<u>0</u>	<u>TBD</u>	<u>TBD</u>	<u>TBD</u>	
<u>Other (describe)</u>	<u>0</u>	<u>TBD</u>	<u>TBD</u>	<u>TBD</u>	

⁴ NOTE: Convert part-time jobs into FTE's for evaluation and reporting purposes by dividing the number of part-time jobs by two (2).

⁵ The "LMA" means the Local Market Area, which is defined by the Agency as Nassau and Suffolk Counties. The Labor Market Area is the same as the Long Island Economic Development Region, as established pursuant to Section 230 of the New York State Economic Development Law.

Please indicate the number of temporary construction jobs anticipated to be created in connection with the acquisition, construction and/or renovation of the Project: 75

Please indicate the estimated hiring dates for the new jobs shown above and any special recruitment or training that will be required:

TBD

Are the Applicant's employees currently covered by a collective bargaining agreement?

YES _____

NO X

IF YES, Union Name and Local: N/A

Please note that the Agency may utilize the foregoing employment projections, among other things, to determine the financial assistance that will be offered by the Agency to the Applicant. The Applicant acknowledges that the transaction/bond documents may include a covenant by the Applicant to retain the above number of jobs, types of occupations and amount of payroll with respect to the proposed project.

Attached hereto as Schedule H is a true, correct and complete copy of the Applicant's most recent Quarterly Combined Withholding, Wage Reporting, and Unemployment Insurance Return (Form NYS-45 and 45-ATT). Upon request of the Agency, the Applicant shall provide such other or additional information or documentation as the Agency may require with respect to the Applicant's current employment levels in the State of New York.

The UNDERSIGNED HEREBY CERTIFIES that the answers and information provided above and in any statement attached hereto are true, correct and complete.

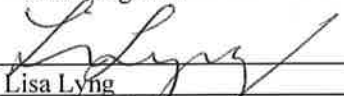
Name of Applicant: Pictor Nassau Logistics Center LLC

Signature: _____

Name: _____

Title: _____

Date: _____



Lisa Lyng
Vice President
2/9/22

ANTI-RAIDING QUESTIONNAIRE

(To be completed by Applicant if Applicant checked "YES" in Part I, Question O of the Application for Financial Assistance)

A. Will the completion of the Project result in the removal of a plant or facility of the Applicant, or of a proposed user, occupant or tenant of the Project, or a relocation of any employee of the Applicant or of a proposed user, occupant or tenant of the Project, from an area in New York State (but outside of Nassau County) to an area within Nassau County?

YES _____

NO X _____

If the answer to Question A is YES, please provide the following information:

Address of the to-be-removed plant or facility or the plants or facilities from which employees are relocated: _____

Names of all current users, occupants or tenants of the to-be-removed plant or facility: _____

B. Will the completion of the Project result in the abandonment of one or more plants or facilities of the Applicant, or of a proposed user, occupant or tenant of the Project, located in an area of the State of New York other than in Nassau County?

YES _____

NO _____

If the answer to Question B is YES, please provide the following information:

Addresses of the to-be-abandoned plants or facilities: _____

Names of all current occupants of the to-be-abandoned plants or facilities:

C. Has the Applicant contacted the local industrial development agency at which its current plants or facilities in New York State are located with respect to the Applicant's intention to move or abandon such plants or facilities?

YES _____

NO _____

If the answer to Question C is YES, please provide details in a separate attachment.

IF THE ANSWER TO EITHER QUESTION A OR B IS "YES", ANSWER QUESTIONS D AND E.

D. Is the Project reasonably necessary to preserve the competitive position of the Applicant, or of a proposed user, occupant or tenant of the Project, in its industry?

YES _____

NO _____

E. Is the Project reasonably necessary to discourage the Applicant, or a proposed user, occupant or tenant of the Project, from removing such plant or facility to a location outside of the State of New York?

YES _____

NO _____

IF THE ANSWER TO EITHER QUESTION D OR E IS "YES", PLEASE PROVIDE DETAILS IN A SEPARATE ATTACHMENT.

Accordingly, the Applicant certifies that the provisions of Section 862(1) of the General Municipal Law will not be violated if financial assistance is provided by the Agency for the proposed Project.

NOTE: If the proposed Project involves the removal or abandonment of a plant or facility of the Applicant, or a proposed user, occupant or tenant of the Project, within the State of New York, notification will be made by the Agency to the chief executive officer(s) of the municipality or municipalities in which such plant or facility was located.

THE UNDERSIGNED HEREBY CERTIFIES that the answers and information provided above and in any statement attached hereto are true, correct and complete.

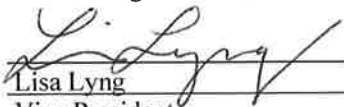
Name of Applicant: Pictor Nassau Logistics Center LLC

Signature: _____

Name: _____

Title: _____

Date: _____



Lisa Lyng
Vice President

2/9/22

RETAIL QUESTIONNAIRE

(To be completed by Applicant if Applicant checked either "YES" in Part II, Question Q of the Application for Financial Assistance)

- A. Will any portion of the Project (including that portion of the cost to be financed from equity or sources other than Agency financing) consist of facilities or property that are or will be primarily used in making retail sales to customers who personally visit the Project?

YES _____ NO X _____

For purposes of Question A, the term "retail sales" means (i) sales by a registered vendor under Article 28 of Tax Law of the State of New York (the "Tax Law") primarily engaged in the retail sale of tangible personal property (as defined in Section 1101(b)(4)(i) of the Tax Law), or (ii) sales of a service to customers who personally visit the Project.

- B. If the answer to Question A is YES, what percentage of the cost of the Project (including that portion of the cost to be financed from equity or sources other than Agency financing) will be expended on such facilities or property primarily used in making retail sales of goods or services to customers who personally visit the Project?

_____ %

- C. If the answer to Question A is YES, and the amount entered for Question B is greater than 33.33%, indicate whether any of the following apply to the Project:

1. Is the Project likely to attract a significant number of visitors from outside the economic development region (i.e., Nassau and Suffolk Counties) in which the Project is or will be located?

YES _____ NO _____

2. Is the predominant purpose of the Project to make available goods or services which would not, but for the Project, be reasonably accessible to the residents of the city, town or village within which the Project will be located, because of a lack of reasonably accessible retail trade facilities offering such goods or services?

YES _____ NO _____

3. Will the Project be located in one of the following: (a) an area designated as an empire zone pursuant to Article 18-B of the General Municipal Law; or (b) a census tract or block numbering area (or census tract or block numbering area contiguous thereto) which, according to the most recent census data, has (i) a poverty rate of at least 20% for the year in which the data relates, or at least 20% of the households receiving public assistance, and (ii) an unemployment rate of at least 1.25 times the statewide unemployment rate for the year to which the data relates?

YES _____ NO _____

If the answer to any of the subdivisions 1 through 3 of Question C is YES, attach details.

- D. If the answer to any of the subdivisions 2 through 3 of Question C is YES, will the Project preserve permanent, private sector jobs or increase the overall number of permanent, private sector jobs in the State of New York? If YES, attach details.

YES _____

NO _____

- E. State percentage of the Applicant's annual gross revenues comprised of each of the following:

Retail Sales: _____%

Services: _____%

- F. State percentage of Project premises utilized for same:

Retail Sales: _____%

Services: _____%

The UNDERSIGNED HEREBY CERTIFIES that the answers and information provided above and in any statement attached hereto are true, correct and complete.

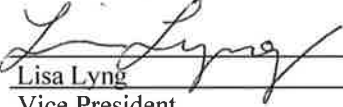
Name of
Applicant: Pictor Nassau Logistics Center LLC

Signature:

Name:

Title:

Date:



Lisa Lyng

Vice President

2/9/22

APPLICANT'S FINANCIAL ATTACHMENTS

ENVIRONMENTAL ASSESSMENT FORM

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: Nassau Logistics Center		
Project Location (describe, and attach a general location map): 125 New South Road, Hicksville, NY (see Figure 1).		
Brief Description of Proposed Action (include purpose or need): See Attachment 1.		
Name of Applicant/Sponsor: Pictor Nassau Logistics Center LLC		Telephone: (551) 427-7171
		E-Mail: lisa.lyng@brookfieldproperties.com
Address: 250 Vesey Street - 15th Floor		
City/PO: New York	State: NY	Zip Code: 10281-1023
Project Contact (if not same as sponsor; give name and title/role): Lisa Lyng, Vice President, Development/Logistics		Telephone: (551) 427-7171
		E-Mail: lisa.lyng@brookfieldproperties.com
Address: Same as Sponsor		
City/PO: Same as Sponsor	State: Same as Sponsor	Zip Code: Same as Sponsor
Property Owner (if not same as sponsor): Same as Sponsor		Telephone: Same as Sponsor
		E-Mail: Same as Sponsor
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Planning Advisory Board - Site Plan Approval	Submitted 8/12/21, revised 1/28/2022
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Bldg Dept - Building Permit; DPW - SWPPP; Hwy Dept - Street Opening Permit; (see attachment)	TBD; Submitted 8/12/21, revised 12/21; TBD
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Nassau County Industrial Development Agency	TBD
f. Regional agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	LIRR - Letter of No Objection; PSEG Long Island (Utility Connection)	8/20/21; TBD
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC - (SPDES GP-0-21-001)	TBD
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No specific approval required from EPA, although continued remediation oversight by EPA	
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):
 See Attachment 1.

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):
 NA

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
 If Yes, what is the zoning classification(s) including any applicable overlay district?
Zone LI - Light Industry

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
 If Yes,
 i. What is the proposed new zoning for the site? NA

C.4. Existing community services.

a. In what school district is the project site located? Hicksville Public Schools

b. What police or other public protection forces serve the project site?
Nassau County Police Department, Second Precinct

c. Which fire protection and emergency medical services serve the project site?
Hicksville Fire Department

d. What parks serve the project site?
Town of South Oyster Bay Community Park and Playground: Giese Park, Triangle Park, and Bethpage Community Park, and playing fields at Kramer Lane Elementary School, Lee Avenue Elementary School, Hicksville Middle School, Bethpage Senior High School, and Hicksville High School.

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? See Attachment 1.

b. a. Total acreage of the site of the proposed action? 15.07 acres
 b. Total acreage to be physically disturbed? 15.1 acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 15.1 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % Units:

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
 If Yes,
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
NA
 ii. Is a cluster/conservation layout proposed? Yes No
 iii. Number of lots proposed?
 iv. Minimum and maximum proposed lot sizes? Minimum Maximum

e. Will proposed action be constructed in multiple phases? Yes No
 i. If No, anticipated period of construction: 12/18 months
 ii. If Yes:
 • Total number of phases anticipated 1
 • Anticipated commencement date of phase 1 (including demolition) month year
 • Anticipated completion date of final phase month year
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: See Attachment 1.

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	One Family	Two Family	Three Family	Multiple Family (four or more)
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures 2

ii. Dimensions (in feet) of largest proposed structure: <50 ft height; 325 ft width; and 754 ft length

iii. Approximate extent of building space to be heated or cooled: approx. 303,678 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: NA

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? See Attachment 1.

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): 0
- Over what duration of time? NA

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.
NA

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. NA

v. What is the total area to be dredged or excavated? _____ N/A acres

vi. What is the maximum area to be worked at any one time? _____ N/A acres

vii. What would be the maximum depth of excavation or dredging? _____ N/A feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____
NA

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): NA

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:
NA

iii. Will proposed action cause or result in disturbance to bottom sediments? Yes No
If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ +/-9,900 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: Hicksville Water District See Attachment 1.
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
The water supply will be routed from Commerce Drive and New South Road into the subject property.
- Source(s) of supply for the district: 14 wells that have been drilled into the Magothy Aquifer

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If, Yes:

- Applicant/sponsor for new district: NA
- Date application submitted or anticipated: NA
- Proposed source(s) of supply for new district: NA

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____
NA

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ +/-9,900 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
Sanitary

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: Cedar Creek Wastewater Treatment Plant
- Name of district: Sanitary Sewer District #3
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

Yes No
 Yes No

Do existing sewer lines serve the project site?
 Will line extension within an existing district be necessary to serve the project?
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____
 NA

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: NA
 • Date application submitted or anticipated: NA
 • What is the receiving water for the wastewater discharge? NA

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):
NA

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____
NA

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or 13.1 acres (impervious surface)
 _____ Square feet or 15.07 acres (parcel size)
 ii. Describe types of new point sources. Proposed buildings and parking lots.

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?
On-site stormwater management practices and discharge to the ground. See Attachment 1 for additional details from the SWPPP.

• If to surface waters, identify receiving water bodies or wetlands: _____
NA

• Will stormwater runoff flow to adjacent properties? Yes No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)
See Attachment 1.
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)
None
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)
None

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:

- _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
- _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
- _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
- _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
- _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): NA

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): NA

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust):
NA

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes: See Attachment 1.

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend

Randomly between hours of 8AM to 9AM 430PM to 530PM

ii. For commercial activities only, projected number of semi-trailer truck trips/day: 42

iii. Parking spaces: Existing 0 Proposed 373 Net increase/decrease +373

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:
Modification of an existing access drive into the site from Commerce Drive and a new access point from New South Road

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action:
See Attachment 1.

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
Power supplied via existing grid and local utilities, with the option provided for future solar panels located on the building roofs.

iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>7:00AM to 10:00PM</u> • Saturday: <u>7:00AM to 10:00PM</u> • Sunday: <u>None</u> • Holidays: <u>None</u> 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>24 hours/5 days</u> • Saturday: <u>24 hours</u> • Sunday: <u>24 hours</u> • Holidays: <u>None</u>
--	--

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:
 Noise generated during construction from grading and asphalt paving equipment and warehouse construction from 7:30 AM to 5:30 PM, Monday to Friday. Noise during operations limited to trucks entering and exiting the facility. See Attachment 1.

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: See Attachment 1.

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
 See Attachment 1.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: NA

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:
 NA

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored NA
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally describe proposed storage facilities:
 The petroleum at the site will be stored in vehicles. Since the vehicles are not stationary, the vehicles are not considered "tank systems."

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):
 Legally controlled/regulated herbicides or pesticides may be used during routine landscaping operations.

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: 5 tons per month (unit of time)
 • Operation: 45 tons per month (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: See Attachment 1.
 • Operation: Cardboard generated from on-site operations will be segregated in a separate container for recycling purposes.

iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: Removed asphalt from existing parking area will be disposed of as construction and debris waste.
 • Operation: The solid waste generated from operations will be stored within disposal containers located inside each building. Pick-up by the private carting company is anticipated to take place on a weekly basis.

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

- i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): NA
- ii. Anticipated rate of disposal/processing:
 - _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 - _____ Tons/hour, if combustion or thermal treatment
- iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

- i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: NA
- ii. Generally describe processes or activities involving hazardous wastes or constituents: NA
- iii. Specify amount to be handled or generated _____ tons/month
- iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: NA
- v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:
See Attachment 1.

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

- a. Existing land uses.
 - i. Check all uses that occur on, adjoining and near the project site.
 - Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 - Forest Agriculture Aquatic Other (specify): Transportation (LIRR tracks)
 - ii. If mix of uses, generally describe:

Primarily industrial and commercial land uses surrounding the Site; however, there is a residential development to the west across New South Road. The Site proper is currently vacant. The Applicant has evaluated numerous BMPs to incorporate green infrastructure (see Attachment 1).

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.8 acre	13.07 acres	+12.27 acres
• Forested	None	None	None
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	14.07 acres	None	-14.07 acres
• Agricultural (includes active orchards, field, greenhouse etc.)	None	None	None
• Surface water features (lakes, ponds, streams, rivers, etc.)	0.1 acres	None	-0.1 acres
• Wetlands (freshwater or tidal)	None	None	None
• Non-vegetated (bare rock, earth or fill)	None	None	None
• Other Describe: <u>Trees and landscaping</u>	0.1 acre	2.0 acre	+1.9 acres

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: NA

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:
NA

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:
NA

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: NA
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:
NA
iii. Describe any development constraints due to the prior solid waste activities: _____
NA

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:
The facility operated as a PVC manufacturing facility from approximately 1945 until it was shutdown in 2002. Wastes managed included organic wastes, metals, and polychlorinated biphenyls. Ruco Corporation operated an interim status drum storage facility in the early 1980s that was properly closed.

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): 9813064, 0125042, 1216639
 Yes – Environmental Site Remediation database Provide DEC ID number(s): #130004
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures:
Interim corrective measures consisting of removal of 35,000 tons of soil containing primarily PCBs and metals that were transported for proper off-site disposal. There is a one-foot thick soil cover system above a demarcation layer above remaining affected soils. NYSDEC's approval letter is attached.
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): 130003, 130215, 130003B, V00416, 130078, 130118, 130010
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):
Over the course of the Site's historical operations as a manufacturing facility, numerous spills occurred and were responded to by the prior Site owner. All spill incident numbers have been closed by NYSDEC. The Site's Superfund status is "remedy construction complete" and the Site is in the operations and maintenance phase under a NYSDEC-approved Site Management Plan.

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: #130004
- Describe the type of institutional control (e.g., deed restriction or easement): Environmental easement
- Describe any use limitations: Land use restricted to restricted commercial and industrial use. Also, groundwater use prohibited.
- Describe any engineering controls: 1-foot soil cover system and vapor intrusion evaluation for new buildings.
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

Excavation for the stormwater system and site grading will require the soil cover system to be removed; however, the cover system will be replaced in accordance with the NYSDEC-approved Site Management Plan.

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? Approximately 875 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? NA%

c. Predominant soil type(s) present on project site:

Urban Land	<u>52.7%</u>
Urban Land-Hemstead Complex	<u>46.9%</u>
Udipsamments	<u>0.4%</u>

d. What is the average depth to the water table on the project site? Average: App. 50 feet

e. Drainage status of project site soils: Well Drained: 100% of site
 Moderately Well Drained: _____ % of site
 Poorly Drained: _____ % of site

See Attachment 1.

f. Approximate proportion of proposed action site with slopes: 0-10%: 100% of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: NA

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name NA Classification _____
- Lakes or Ponds: Name NA Classification _____
- Wetlands: Name NA Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:

i. Name of aquifer: Nassau-Suffolk SSA (Magothy Aquifer)

<p>m. Identify the predominant wildlife species that occupy or use the project site:</p> <p>Typical suburban species _____ See Attachment 1. _____</p> <p>_____</p>	<p>_____</p> <p>_____</p>
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p>NA</p> <p>ii. Source(s) of description or evaluation: NA</p> <p>iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>NA</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>NA</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>NA</p>	
<p>E.3. Designated Public Resources On or Near Project Site</p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: NA</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>i. If Yes: acreage(s) on project site? NA</p> <p>ii. Source(s) of soil rating(s): NA</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p>ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>NA</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. CEA name: NA</p> <p>ii. Basis for designation: NA</p> <p>iii. Designating agency and date: NA</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: <u>NA</u>	
<i>iii.</i> Brief description of attributes on which listing is based: <u>NA</u>	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): <u>NA</u>	
<i>ii.</i> Basis for identification: <u>NA</u>	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: <u>NA</u>	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>NA</u>	
<i>iii.</i> Distance between project and resource: _____ <u>NA</u> miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: <u>NA</u>	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

Attach any additional information which may be needed to clarify your project.

See Attachment 1.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Charles Utschig, Engineer Date January 20, 2022

Signature  Title Associate, Langan

**Nassau Logistics Center
125 New South Road
Hicksville, NY
1-27-2022**

Attachment 1 to Full Environmental Assessment Form (FEAF)

Part 1A. Brief Description of Proposed Action (include purpose or need):

Pictor Nassau Logistics Center LLC (“Nassau Logistics Center”) intends to lease 15.07-acres of the former Hooker Chemical/RUCO Polymers Superfund Site (“Leased Premises”) to a to-be-determined tenant. Nassau Logistics Center is seeking to develop the Leased Premises into two spec warehouse buildings comprised of a 206,126-square-foot (sf), one-story warehouse building (consisting of 10,800 sf of office space and 195,326 sf of warehouse space) and a 97,552-sf, one-story warehouse building (consisting of 6,800 sf of office space and 90,752 sf of warehouse space).

Part 1B. Government Approvals

d. Other local agencies – Hicksville Water District – Submitted 10/15/21; revised 10/29/21

g. State agencies – As outlined in the Roux memorandum dated November 19, 2021 (attached), the past investigation/remediation activities performed at the Site is summarized including the coordination efforts made by both USEPA and the NYSDEC is noted. An NYSDEC-approved Site Management Plan (SMP) is currently in-place for the Site and outlines the protocols, notifications, etc. that will be followed during development of the property. The SMP outlines the steps that will be followed by the Contractor in the event contamination is encountered during construction. The future oversight involvement of these agencies is also addressed in this memorandum.

As part of the future development of the Site, it is anticipated that stormwater will be managed through an underground stormwater infiltration system with an isolator row (Stormtech MC-4500). The final design of the on-site stormwater drainage system and associated specifications will be provided to Nassau County Department of Public Works and Nassau County Department of Health.

Prior to the construction of any Class V Underground Injection Well, the Applicant will submit the USEPA 7520-16 for Inventory of Injection Wells. This form will provide inventory information about the well to the underground injection control (UIC) program. This will include the following:

- Name and location of the facility
- Name and address of a legal contact
- Owner of the property
- Nature and type of injection well(s)

- Operating status of injection well(s)

The 7520-16 form will be submitted to USEPA and the Nassau County Department of Health, NYSDEC, and the Town of Oyster Bay DER will be copied.

Part C.2. Adopted land use plans. b.

The Site is located within the Southeast Hicksville BOA which seeks to maintain and enhance the quality of life for the area's residents and promote development of abandoned, vacant, and underutilized industrial properties. The proposed development at the Site is consistent with the BOA's vision statement in that will transform the Hooker Chemical/RUCO Polymers Superfund Site into a LEED certified warehouse. The proposed development of the Site will include light industry, which is recognized in the BOA as an important aspect of the community to provide jobs and support the tax base via sales and real estate taxes to various municipalities including the Town and Nassau County. The Applicant has enlisted a traffic engineer to prepare the enclosed Traffic Assessment Report, dated August 6, 2021. The Traffic Assessment Report outlines how truck traffic will be managed and minimized. Additionally, the future light industrial use will incorporate green technologies such as a concrete truck court, sidewalks and a white TPO roof to contribute in the reduction of heat island effect on-site. The Applicant has included additional Site landscaping to enhance the visual effects from the adjacent roads. The proposed development incorporates landscaping improvements, which will improve the aesthetics in the community.

Part D.1. Proposed and Potential Development. a.

The Proposed Action for the Site is for development of two spec buildings with currently no specific tenants identified to occupy the buildings. The two warehouses include: Building 1 is proposed 206,126-square-foot (sf), one-story warehouse building (consisting of 10,800 sf of office space and 195,326 sf of warehouse space). Building 2 is proposed 97,552-sf, one-story warehouse building (consisting of 6,800 sf of office space and 90,752 sf of warehouse space).

Part D.1. Proposed and Potential Development b and e.

A copy of the Erosion & Sedimentation Control Storm Water Pollution Prevention Plan (SWPPP) is attached to the FEAF. It is noted that permission will be sought from the Town during the SWPPP review process to disturb more than five acres at one time. Furthermore, two inspections per week would be required during Site disturbance/construction activities. Site disturbance will be minimized to ensure there is only a short duration of exposed, unstabilized soils. Construction excavation will be coordinated to minimize potential impacts from having multiple active soil stockpiles during the construction period.

The Site requires clearing of the existing vegetation and the removal of the existing trees including stumps/roots located along the perimeter of the property as noted on the Existing Conditions and Site Removals Plan (CD101). The existing vegetation to be cleared and removal of the existing trees (16) is estimated at approximately 50 cubic yards (CY). In

accordance with the New York State Department of Environmental Conservation (NYSDEC)-approved Site Management Plan (SMP), the water in the two existing on-site lined retention basins will be removed and transported off-site for proper disposal. Once the water has been removed from the retention basins and the existing liner removed and disposed of in accordance with the SMP, the surface will be scarified and the features will then be filled in with on-site soils and compacted to the appropriate construction grades. It is expected that no soil material will be removed from the Site during construction of the proposed improvements, but it is estimated that approximately 7,000 CY of soil will be imported.

Part D.2. Project Operations a.

As summarized in the Roux memorandum, dated November 19, 2021, all excavation work will be completed in accordance with the NYSDEC-approved SMP and Excavation Work Plan (EWP) (included as Appendix D of the SMP). On-site excavation work will be completed in order to install the future buildings' foundation (with depths ranging from approximately 0 to 3 ft. below land surface) and to allow for installation of the future stormwater drainage structures (with depths ranging from approximately 3 to 10 ft. below land surface). In accordance with the SMP and EWP, excavated soil and construction and demolition debris (C&D) will be reused on-site to the extent practicable to minimize off-site disposal and off-site truck trips during construction. It is currently anticipated that the development of the Site will require a net import of approximately 7,000 CY of clean material and off-site disposal of soil and C&D material will be limited only to grossly impacted material (soil containing non-aqueous phase liquid [NAPL], staining, or odor as defined in Section D-7 of the EWP). All material will be disposed of off-site in accordance with local, state, and federal regulations.

The presence of accumulated stormwater within these the two retention basins is seasonal. The geotechnical investigation verified that groundwater is approximately 50 ft. below the average existing grade. Based on an engineering evaluation of these basins it was determined that the standing water in these basins is an isolated condition due to the buildup of silty soils in the basin bottom creating a confining layer, which limits infiltration and resulting in a perched water condition in this isolated area. As outlined in Section 4.5 of the NYSDEC-approved Final Engineering Report (FER), dated September 2017, these retention basins were constructed during remediation to facilitate drainage of stormwater at the Site. Any standing water present at start of construction will be managed as specified in the SMP and EWP. The accumulated rainwater will be pumped from the on-site retention basins, containerized, and sampled for off-site disposal. Following off-site disposal, these area will be scarified to facilitate infiltration and then backfilled with existing material on-site, compacted, and graded to prevent future ponding. Additional details regarding on-site excavation and stormwater management is summarized in the Roux memorandum dated November 19, 2021, and the EWP, included as Appendix D of the NYSDEC-approved SMP.

Part D.2. Project Operations c.

Consultations have been undertaken with the Hicksville Water District regarding the availability of services. An "Application for Supply of Water" has been completed and submitted to the Water District dated October 15, 2021 as per their request, to determine water availability for the Site. A second submittal with applicable fees dated October 29, 2021 has been sent to the Water District. Langan received a response letter dated November 11, 2021 from the Water District requesting additional funding to perform a hydraulic modeling analysis. The Applicant is in the process of submitting the funding to the Water District. On November 15, 2021, Langan received an email from the Water District with additional comments on our application submittal attached. We have discussed those comments with the Water District and they are performing additional analyses. This application and correspondence is included with the FEAF. No vehicle washing will occur at the Site.

Part D.2. Project Operations e.

As detailed in the SWPPP, the proposed stormwater management system is designed to limit post development stormwater discharges to less than predevelopment rates for storm event ranging from 1-year to 100 year. The analysis included in the SWPPP demonstrates that a large majority of stormwater runoff from this Site is generally infiltrated into the ground, and that those areas where there is surface runoff, the rate of runoff on the post development condition is less than the predevelopment discharge rate. Based on the design approach for this project, there is not potential for flooding either on-site or adjacent properties for up to the 100 year storm event.

In addition to the detailed stormwater analysis provided in the SWPPP, we have also indicated on the drawings the volume of stormwater runoff captures in the proposed stormwater management practices.

Due to the proposed use of the Site as a warehouse, there are limited opportunities to minimize impervious areas, collect runoff for reuse or incorporate pervious pavement into the design. However, the design does incorporate a very efficient design, one that takes into consideration appropriate access for emergency vehicles, turning movement for the type of truck expected on this Site and the parking required by code.

Part D.2. Project Operations f.

As summarized in the Roux memorandum, dated November 19, 2021, all excavation work will be completed in accordance with the NYSDEC-approved SMP and EWP (included as Appendix D of the SMP). The NYSDEC-approved SMP also includes a Community Air Monitoring Plan (CAMP). The CAMP stipulates that continuous air monitoring will be conducted during all ground intrusive activities. Volatile organic compounds (VOCs) and particulates will be monitored at one upwind and three downwind locations (one downwind of Site activities and two between Site activities and nearest receptors). Additionally, meteorological monitoring will be conducted continuously at the Site using a portable

meteorological monitoring system equipped with electronic data-logging capabilities. Dust suppression during invasive on-site work will include a dedicated on-site water truck, sprinklers, or spray hoses for road wetting, clearing and grubbing in stages to limit the area of exposed, minimizing the number and size of excavation areas open at one time, limiting travel speed and applying water to gravel haul roads, and covering the excavated material in staging areas with polyethylene sheeting. Air monitoring data will be provided to NYSDEC, New York State Department of Health (NYSDOH), and the Town of Oyster Bay DER in weekly CAMP reports. Additionally, air pollutant emission levels associated with construction will be minimized through truck idling restrictions, the use of low-sulfur diesel, utilizing diesel particulate filters, and/or at least Tier 3 emissions standards on equipment rated for greater than 50 hp which shall be utilized whenever reasonably feasible to do so.

Part D.2. Project Operations j.

Langan arranged for traffic counts to be conducted at the New South Road and Commerce Place intersection on May 11, 2021, during the weekday morning peak hours (from 6:00 AM to 9:00 AM), and weekday evening peak hours (from 3:00 PM to 6:00 PM). Based on the traffic counts, the weekday morning peak hour occurred from 8:00 AM to 9:00 AM and the weekday evening peak hour occurred from 4:30 PM to 5:30 PM.

Table 1 shows the estimated trip generation for the proposed warehouse development.

Table 1 – Trip Generation Estimates

303,000 sf Warehouse	Weekday Morning Peak Hour			Weekday Evening Peak Hour		
	In	Out	Total	In	Out	Total
Passenger Cars	37	21	58	14	48	62
Trucks	6	3	9	3	8	11
Total Trips	43	24	67	17	56	73

The trip generation numbers shown in Table 1 represent the single highest peak hours anticipated for a typical weekday during commuting periods. The trip generation for the proposed warehouse equates to approximately one vehicle every two minutes, on average, in any one direction on the surrounding roadway network. This amount of traffic is imperceptible on the surrounding road network.

We conducted capacity analyses for the intersections in the study area and found that the proposed warehouse development will not significantly alter traffic operations in the study area during peak hours.

During construction, interruptions to the adjacent roadway network will be minimal. The Site is large enough to accommodate any associated staging and activity. Temporary shoulder closures may be necessary while constructing the driveway connections to New South Road and Commerce Place.

Part D.2. Project Operations k.i.

The electrical service size has been determined based on typical anticipated loads for similar buildings and occupancies in the same region. Additionally, the service size has been verified to meet the owners Wattage per Square Foot standard.

Building 1:

3,000A, 277/480V, 3P, 4W Service; The main breaker is rated 3,000A, the main switchboard bus is rated 4,000A (to allow for future solar). There is a dedicated 800A breaker to support potential solar on the roof. We have anticipated a maximum of 650 kW of solar generation.

Building 2:

1,200A, 277/480V, 3P, 4W Service; The main breaker is rated 1,200A, the main switchboard bus is rated 1,600A (to allow for future solar). There is a dedicated 300A breaker to support potential solar on the roof. We have anticipated a maximum of 240 kW of solar generation.

Part D.2. Project Operations l.

The proposed spec warehouse building has not identified a tenant as of this submission so the hours of operation at the site are to be determined. With respect to the surrounding commercial uses, the site is located in a heavily industrial area with industrial uses and similar warehouses located to the north, east, south, and northwest. Single-family residences are located to the southwest on the opposite side of the LIRR tracks, approximately 101-feet away. Approximately 60 trains a day travel within feet of the single-family residences 24-hours a day. Furthermore, based on the November 10, 2021 Hicksville LIRR schedule, Eastbound trains were scheduled at 12:00 AM, 12:28 AM, 12:59 AM, 1:31 AM, 2:02 AM, 2:05 AM, 3:53 AM, 4:00 AM, 5:43 AM, 5:55 AM, 6:40 AM, and 6:48 AM. Westbound trains were scheduled to travel past the single-family residences at 12:38 AM, 12:53 AM, 1:21 AM, 1:57 AM, 2:27 AM, 4:01 AM, 4:43 AM, 5:17 AM, 5:22 AM, 5:26 AM, 5:35 AM, 5:45 AM, 6:19 AM, 6:31 AM, and 6:56 AM. By this small sampling, 27 trains traveled past the single-family residences between midnight and 7:00 AM. In addition to the LIRR, the single-family residences abut commercial uses to the north, including a truck loading bay with a drive aisle that abuts the rear yards of the residences on Mineola Avenue. We anticipate that the work hours on-site will be 24/7. Because a tenant has not been identified, specific work shift hours have not been identified but is assumed to be three shifts of work, each to be a period of 8 hours. Access to the facility will be via three entrances. The entrance off of New South Road in the northwest corner of the property will be for employee/workers only. Signage will be posted to state that tractor trailers are not allowed entrance at this location so as to not disturb the residentially zoned properties. On Commerce Place, on the north side of the Site there are two proposed entrances, one for tractor trailers and the second for employee/workers at the Site. Signage will be posted at the entrance of each to notify the driver what vehicles are allowed to access each entrance. The entrance for tractor trailers and the location of the dock areas were specifically designed to reduce noise. By positioning the dock doors on

the east side of Building 2, the building acts as a buffer for dock operations. The dock doors are located about 393 ft. from the residentially-zoned properties. In addition, the Applicant is proposing significant dense plantings (328 additional trees, evergreens, and/or plants from the initial submittal) along the perimeter of the property, specifically along New South Road to act as a noise barrier and as a visible barrier of the warehouse and its operations.

Part D.2. Project Operations m.

As noted on the Existing Conditions and Site Removals Plan (CD101), a total of 16 trees have been identified as shown on this Plan along with their DBH, type, and current condition. A Tree Survey was performed and a total of 16 trees were located as noted on the Site Survey and CD101; DBH was measured to confirm the diameter on the survey. The health of each tree was evaluated by a Landscape Architect and a majority of the trees were in poor to fair condition. As noted on CD101, these 16 trees are proposed to be removed. The Site requires clearing of the existing vegetation and the removal of the existing trees located along the perimeter of the property. This task will be included during implementation of the Clearing and Grading task. The existing vegetation to be cleared and removal of the existing trees (16) including stumps/roots is estimated at approximately 50 CY. This vegetation/tree debris will be transported off-site for disposal at the local landfill/recycling center.

Part D.2. Project Operations n.

Note 2 “Light fixtures shall be dark sky compliant.” On the Site Lighting Plan (Drawing LL101) has been added to comply with this request. All proposed Site lighting is dark sky compliant, 3000k color temperature, directional, with house side shields on all fixtures on the perimeter of the property. The shielding will prevent the source of light from being visible from any adjoining streets, public areas, and neighboring properties and prevent objectionable glare observable from such streets or properties.

The note “Chapter 246 Section 7.1.2: All landscaping as shown on approved plans shall be maintained in a vigorous growing condition. Any plants not so maintained shall be replaced with healthy new plants of comparable size, type and quality at the beginning of the next immediately following growing season. Satisfactory assurance of such maintenance shall be a condition of development approval and of continued conformity with this code.” Has been added below the Plant Schedule table on Drawing LP101.

Part D.2. Project Operations r.

The project plans to divert more than 50% of construction waste away from landfills. In addition to that, an overall waste prevention goal of generating less than 10 lbs./sf of waste during construction will be implemented as part of our green construction strategies. This goal will be met by reusing on-site materials that would otherwise be considered a waste (e.g. crushed clean concrete as base or fill). This will reduce off-site waste disposal as well as limit truck traffic for material export and import in the area. Any off-site disposal of

soil and C&D material will be limited only to grossly impacted material (soil containing non-aqueous phase liquid [NAPL], staining, or odor as defined in Section D-7 of the EWP). The project will also be analyzed using the Whole-building Lifecycle Analysis (LCA) framework to understand the impact of heavily used construction materials such as steel and concrete.

Part D.2. Project Operations t.

Any soil that may contain residual impacts will remain on-site and be placed beneath the cap. If impacted soil (odor, sheen, separate phase) is generated, the soil will be segregated, sampled, and tested for appropriate off-site transportation and disposal in accordance with the NYSDEC-approved Site Management Plan, Sub-Slab Depressurization Systems Rev. 3 dated February 9, 2021.

As summarized in the Roux memorandum, dated November 19, 2021 all excavation work will be completed in accordance with the NYSDEC-approved SMP and EWP (included as Appendix D of the SMP). In accordance with the SMP, excavation oversight will be completed by a Qualified Environmental Professional (QEP) during all ground intrusive work. The QEP will prepare daily reports for proper record keeping and submittal to NYSDEC, NYSDOH, and the Town of Oyster Bay DER. Additionally, the QEP and development team will keep the Town of Oyster Bay DER updated on all construction activities through periodic calls/meetings, at a frequency agreed upon by all parties. Oversight responsibilities will include:

- Ensure construction compliance with the SMP and EWP;
- Observing and screening excavated soil for evidence of impacts (such as odor or staining);
- Observing and inspecting soil stockpiles, if necessary;
- Ensuring soil and material management is consistent with the SMP and EWP requirements;
- Observing underground storage tank (UST) removals, if necessary;
- Ensure that all material import is from an approved facility/source;
- Ensure that the clean fill/topsoil cap is installed in accordance with the SMP and EWP;
- Reviewing waste transporter permits;
- Verification that manifest information is accurate;
- Verification that the manifest destination matches the analytical profile;
- Maintaining a truck log of exported and imported soil and materials;
- Preparation of daily reports for proper record keeping and submittal to NYSDEC, NYSDOH, and the Town of Oyster Bay DER; and
- CAMP implementation.

Part E.1. Land uses on and surrounding the project site b.

The project proposes new tree plantings throughout the Site in accordance with the landscaping and screening requirements from the Town code which is a green

infrastructure practice. The project takes credit from the trees fronting Commerce Place as treating small portions of impervious area. Other green infrastructure practices were considered, but were not applied to our project considering the Site limitations and/or design restrictions as specified in the NYS Stormwater Management Design Manual (see tables below).

Reduction of impervious cover includes methods to reduce the amount of rooftops, parking lots, roadways, sidewalks, and other surfaces that do not allow rain to infiltrate into the soil. An evaluation of the reduction of impervious cover techniques is provided in the table below.

Reduction of Impervious Cover

Practice	Description	Incorporated	Reason
Roadway Reduction	Minimize roadway widths and lengths to reduce site impervious area.	Considered and not applied	Roadway widths were established based on fire apparatus and tractor trailer requirements.
Sidewalk Reduction	Minimize sidewalk lengths and widths to reduce site impervious area.	Considered and not applied	Sidewalk lengths and widths were established based on pedestrian and fire department circulation.
Driveway Reduction	Minimize driveway lengths and widths to reduce site impervious area.	Considered and not applied	There are no proposed driveways on site.
Cul-de-sac Reduction	Minimize the number of cul-de-sacs and incorporate landscaped areas to reduce their impervious cover.	Considered and not applied	There are no proposed cul-de-sacs on site.
Building Footprint Reduction	Reduce the impervious footprint of residences and commercial buildings by using alternate or taller buildings while maintaining the same floor to area ratio.	Considered and applied	Multi-story offices are proposed to limit building footprint.
Parking Reduction	Reduce imperviousness on parking lots by eliminating unneeded spaces, providing compact car spaces and efficient parking lanes, minimizing stall dimensions, using porous pavement surfaces in overflow parking areas, and using multi-storied parking decks where appropriate.	Considered and not applied	Parking count was determined by the municipality.

Green infrastructure techniques use the natural features of the site and promote runoff reduction through micromanaging runoff, promoting groundwater recharge, increasing losses through evapotranspiration, and emulating the existing hydrology. An evaluation of the runoff reduction practices is provided in the table below.

Runoff-Reduction Practices

Practice	Description	Incorporated	Reason
Conservation of Natural Areas	Retain the pre-development hydrologic and water quality characteristics of undisturbed natural areas, stream and wetland buffers by restoring and/or permanently conserving these areas on a site.	Considered and not applied	The site was previously developed based on historical aerial imagery. There are no undisturbed natural areas, streams and wetland buffers on-site.
Sheet flow to Riparian Buffers or Filter Strips	Undisturbed natural areas such as forested conservation areas and stream buffers or vegetated filter strips and riparian buffers can be used to treat and control stormwater runoff from some areas of a development project.	Considered and not applied	The Site was previously developed based on historical aerial imagery. There are no undisturbed natural areas, forests, streams and wetland buffers on site. The project incorporates underground stormwater chambers to control runoff.
Vegetated Open Swale	The natural drainage paths, or properly designed vegetated channels, can be used instead of constructing underground storm sewers or concrete open channels to increase time of concentration, reduce the peak discharge, and provide infiltration.	Considered and not applied	Proposed site does not have adequate space to incorporate vegetated open swales.
Tree Planting/Tree Box	Plant or conserve trees to reduce stormwater runoff, increase nutrient uptake, and provide bank stabilization. Trees can be used for applications such as landscaping, stormwater management practice areas, conservation areas and erosion and sediment control.	Considered and applied	
Disconnection of Rooftop Runoff	Direct runoff from residential rooftop areas and upland overland runoff flow to designated pervious areas.	Considered and not applied	The maximum allowed rooftop contributing area is 2,000 sq. ft. with suitable flow dispersion and downspouts have to be at least 10 ft. away from the nearest impervious surface to

Practice	Description	Incorporated	Reason
			discourage re-connections. Based on the proposed project, it is not feasible to meet the design criteria.
Stream Daylighting for Redevelopment Projects	Stream daylight previously culverted/ piped streams to restore natural habitats, better attenuate runoff by increasing the storage size and promoting infiltration.	Considered and not applied	There are no streams on-site to daylight.
Rain Garden	Manage and treat small volumes of stormwater runoff using a conditioned planting soil bed and planting materials to filter runoff stored within a shallow depression.	Considered and not applied	Similar to bioretention practices; however, they do not provide the added benefit of using the portion of the water quality volume that is not reduced to meet the total water quality volume requirement.
Green Roof	Capture runoff through a layer of vegetation and soil installed on top of a conventional flat or sloped roof.	Considered and not applied	Based on the size of the building, it is not feasible to incorporate a green roof. In addition, portions of the roof will be sloped to roof leader drains.
Stormwater Planter	Small landscaped stormwater treatment devices that can be designed as infiltration or filtering practices.	Considered and not applied	Stormwater planters are more suitable for residential or smaller commercial buildings.
Rain Tank/Cistern	Capture and store stormwater runoff to be used for irrigation systems or filtered and reused for non-contact activities.	Considered and not applied	The water source provided by the cisterns is not reliable for firefighting purposes.
Porous Pavement	Pervious types of pavements that provide an alternative to conventional paved surfaces, designed to infiltrate rainfall through the surface.	Considered and not applied	There are areas considered to be within a hot spot. Infiltration practices are not suitable for hot spot areas unless redundant pretreatment is proposed. In addition, a large part of the site will be filled.

Standard stormwater management practices (SMPs) are structural practices that are designed to capture and treat the water quality volume. Some of the standard SMPs can also provide runoff reduction or water quantity controls. An evaluation of the standard SMPs is provided in the table below.

Standard Stormwater Management Practices

Practice	Description	Incorporated	Reason
Stormwater Ponds	Constructed stormwater retention basins that have a permanent pool (or micropool). Runoff from each rain event is detained and treated in the pool. Can be used to treat hotspot runoff if 2 ft. minimum separation to seasonally groundwater is provided or if a permeable liner is provided.	Considered and not applied	Underground infiltration systems were implemented to meet water quality and runoff reduction volume requirements.
Stormwater Wetlands	Constructed stormwater wetlands that are structural practices that incorporate wetland plants to store and treat runoff. Can be used to treat hotspot runoff if 2 ft. minimum separation to seasonally groundwater is provided.	Considered and not applied	Underground infiltration systems were implemented to meet water quality and runoff reduction volume requirements.
Stormwater Infiltration	Excavated trench or basin used to capture and allow for infiltration into the surrounding soils from the bottom and sides of the basin or trench. Also, a standard stormwater practice that also provides runoff reduction volume capacity.	Considered and not applied	Underground infiltration systems were implemented to meet water quality and runoff reduction volume requirements.
Underground Infiltration System	An underground perforated piping or chambers used to capture and allow for infiltration into the surrounding soils from the bottom and sides. Also, a standard stormwater practice that also provides runoff reduction volume capacity.	Considered and applied	
Stormwater Filtering Systems – Sand or Organic	Aboveground or underground multi-chamber practice designed to treat stormwater runoff through filtration using a sediment forebay, primary filter media and underdrain. Can be used to treat hotspot runoff if a permeable liner is provided.	Considered and not applied	Underground infiltration systems were implemented to meet water quality and runoff reduction volume requirements.
Stormwater Filtering Systems – Bioretention	Shallow basin or landscaped area that uses engineered soils and vegetation to capture and treat runoff. Can be used to treat hotspot runoff if a permeable liner is provided. Also, a standard stormwater practice that also provides runoff reduction volume capacity.	Considered and not applied	Underground infiltration systems were implemented to meet water quality and runoff reduction volume requirements.

Practice	Description	Incorporated	Reason
Stormwater Open Channel Systems - Dry Swale	Vegetated channel that captures and treats runoff within dry cells formed by check dams or other means. Can be used to treat hotspot runoff if a permeable liner is provided. Also, a standard stormwater practice that also provides runoff reduction volume capacity.	Considered and not applied	Underground infiltration systems were implemented to meet water quality and runoff reduction volume requirements.
Stormwater Open Channel Systems - Wet Swale	Vegetated channel that captures and treats runoff within wet cells formed by check dams or other means.	Considered and not applied	Underground infiltration systems were implemented to meet water quality and runoff reduction volume requirements.
Hydrodynamic Separator	Proprietary practice used to provide pretreatment in new development and treatment in redevelopment.	Considered and applied	

Part E.2. Natural Resources On or Near Project Site e.

Because of recent precipitation events, two small lined retention basins have collected water on-site. The presence of accumulated stormwater within these retention basins is seasonal, and not associated within infiltration of groundwater, which is present at approximately 50 ft. below land surface (bls). As outlined in Section 4.5 of the NYSDEC-approved FER, dated September 2017, these retention basins were constructed during remediation to facilitate drainage of stormwater at the Site, and therefore, the presence of standing water within the retention basins is assumed to be seasonal as a result of recent significant precipitation events and a build-up of silt at the bottom therefore not allowing the basins to naturally drain. If standing water is present at the start of construction, all accumulated rainwater will be managed as specified in the SMP and EWP. The accumulated rainwater will be pumped from the on-site retention basins, containerized, and sampled for off-site disposal. Following off-site disposal, the areas will be scarified to facilitate infiltration then backfilled with existing material on-site, compacted, and graded to prevent future ponding. Additional details regarding on-site excavation and stormwater management is summarized in the Roux memorandum that is attached in addition to the EWP, included as Appendix D of the NYSDEC-approved SMP.

The Applicant is currently performing infiltration testing at thirteen locations in the central and southern portions of the Site in accordance with the NYS Design manual. These locations were selected based on the location of the proposed stormwater management system that will be installed at the Site (see Drainage Plan (CG201).

Part E.2. Natural Resources On or Near Project Site m.

The project is expected to commence construction in May 2022. Prior to the start of construction (immediately prior to clearing and grubbing activities), a field evaluation of the Site will be performed to locate the presence and/or absence of active nests. If an active nest is observed work within the area of the nest will be delayed and/or the USFW will be

contacted to obtain approval to move the nest to a safe location. On-going construction is expected to deter wildlife from using the Site during the 2022 nesting season and as a result, will avoid direct or incidental take of migratory birds. Appropriate soil erosion and sediment control measures will be installed along the perimeter of the work area to deter activities outside the project limits.

Part F. Additional Information

Climate Smart Community Principles

Nassau Logistics Center will be enrolled in the Brookfield LEEDv4 Volume (BLV) program which streamlines the LEED certification process by integrating a number of green design features into the project's design.

The BLV Program is a Brookfield-specific, streamlined path to LEED certification that relies on a degree of uniformity with respect to approaches to LEED prerequisites and credits.

Nassau Logistics Center will be able to achieve LEED certification using the following green strategies and features:

- Project located on a brownfield site in an industrial area with well-developed existing infrastructure as opposed to a less-developed greenfield site.
- Brownfield site clean-up and remediation performed in compliance with local AHJ requirements.
- Stormwater Pollution Prevention and Erosion Control measures implemented per EPA's 2012 Construction General Permit (CGP) guidelines.
- Concrete truck court, sidewalks and a white TPO roof contribute to reduced heat island effect on-site.
- LED interior and exterior lights with zero-mercury help reduce energy costs by more than 30% while contributing to better occupant health at the same time.
- All shell-building MEP and Envelope systems tested and commissioned by an independent third-party commissioning authority to ensure quality control and operational readiness.
- Whole-building LCA performed to analyze the impact of construction materials.
- More than 50% of construction waste expected to be diverted from landfills in addition to an overall waste prevention goal of generating less than 10 lbs./sf of waste during construction.
- In addition to the shell building features above, tenant design and construction guidelines are provided to future tenants aimed at helping them implement sustainable design features such as indoor water-use reduction and increased ventilation.

Heat Island Effect

To reduce the “heat island effect”, the Applicant is proposing a white TPO roof and adding solar panels to both Buildings 1 and 2. Both of these features will reflect heat from each of these two structures (reducing roof temperatures) and utilizing solar panels is an EPA preferred method to reduce heat island effect. As noted on the Planting Plan (LP101), the Applicant has added a significant amount of trees and other vegetation around the perimeter of the property (328 more from the initial submittal). To lower surface and air temperature, additional trees have been added within parking islands and adjacent to the building. The trees can also improve the air quality in the vicinity of the property.

Green Infrastructure

The development team will implement Green Remediation Practices, in accordance with NYSDEC DER-31 guidance throughout construction. These practices will consider all environmental effects and incorporate options to minimize the environmental footprint. This includes but it not limited to:

- Use of renewable energy and/or the purchase of renewable energy credits (RECs) or a combination of the two techniques to offset 100% of the electricity demand at the Site.
- Reduce vehicle idling. All vehicles, both on- and off-road (including construction equipment) will be shut off when not in use for more than 5 minutes, consistent with 6 NYCRR Part 217 Motor Vehicle Emissions, Subpart 217-3 Idling Prohibition For Heavy Duty Vehicles.
- Design cover systems, to the extent possible, to be usable for alternate uses such as habitat or passive recreation, require minimal maintenance (e.g. less mowing), allow for infiltration of storm water and/or be integrated with the next use of the Site.
- Beneficially reuse materials that would otherwise be considered a waste (e.g. crushed clean concrete as base or fill). This will reduce off-site waste disposal as well as limit truck traffic for material export and import in the area.
- Use of ULSD, use of diesel particulate filters, and using equipment and engines meeting at least the Tier 3 emissions standards, which shall be utilized whenever reasonably feasible.
- Work hours will be limited during evenings and weekend to minimize noise pollution to the surrounding community, requiring the contractors to outfit equipment with noise-reducing mufflers, and/or placing street barrier to reduce the sound impact in the area.

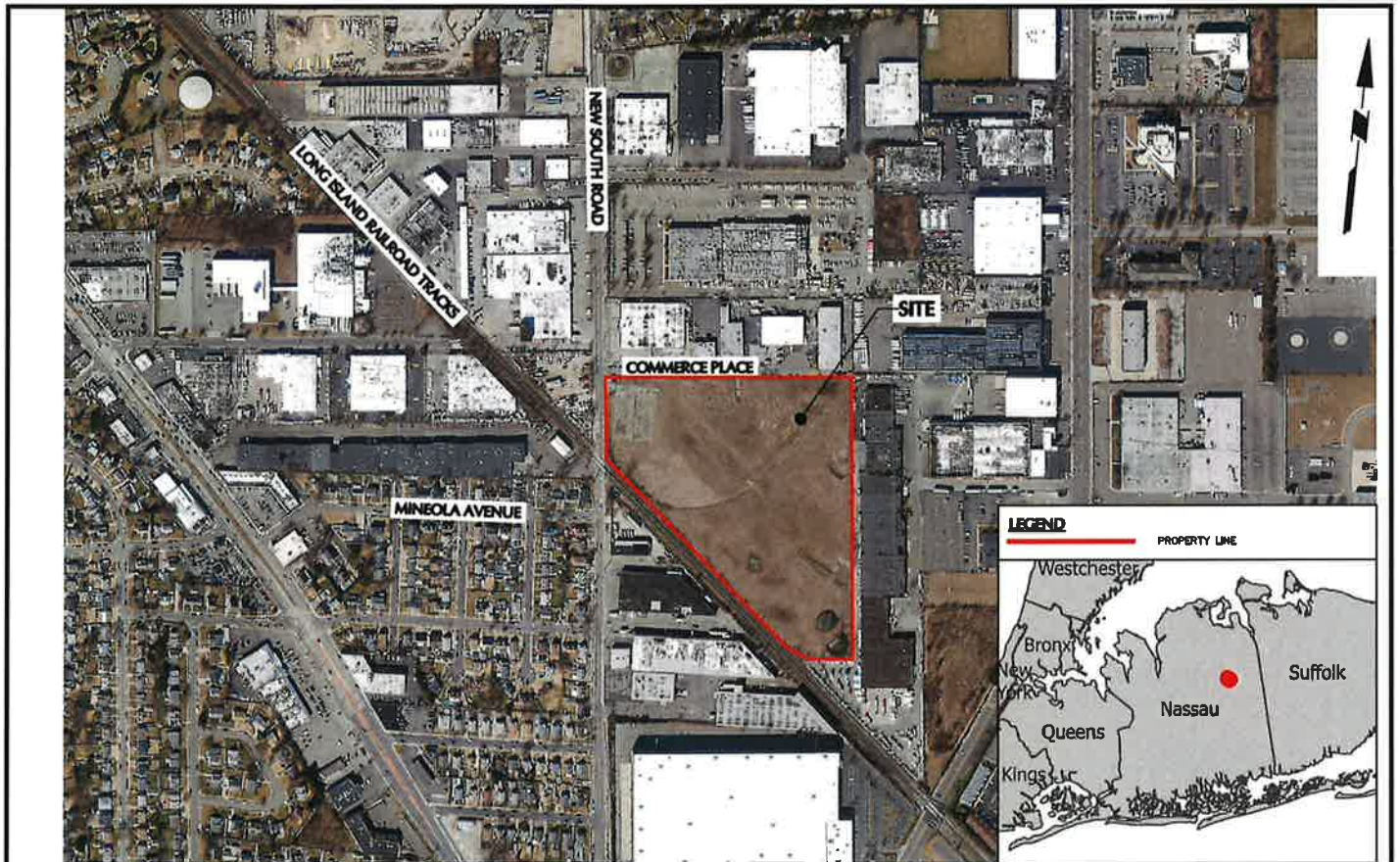
Landscaping/Visual Renderings

Planting Images (LP 502) have been updated based on the revised Planting Plan (LP101) that is included with the drawings. Two renderings are also provided with this revised application to illustrate the density of plantings along the perimeter of the Site. One

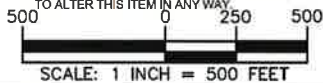
rendering depicts time of planting and the second depicts 10-years from planting. Directional arrows have been included on each rendering.

The revised Planting Plan (LP101) has used plants/trees/evergreens selected from the Town's approved list. As per the Existing Conditions and Site Removals Plan (CD101), the sixteen trees as shown on this Plan are scheduled for removal. Their caliper size (DBH) is noted on the Plan. A comparison table has also been prepared (see attached).

FIGURES



WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



LANGAN
 Langan Engineering, Environmental, Surveying,
 Landscape Architecture and Geology, D.P.C.
 One North Broadway, Suite 910
 White Plains, NY 10601
 T: 914.323.7400 F: 914.323.7401 www.langan.com

Project
NASSAU LOGISTICS CENTER
 SECTION No. 48, BLOCK No. H, LOT No. 30 & 31
 TOWN OF OYSTER BAY
 NASSAU COUNTY NEW YORK

Drawing Title
SITE LOCATION MAP

Project No.
 190065402
 Date
 11/11/2021
 Drawn By
 JT
 Checked By
 GD

Drawing No.
FIGURE 1
 Sheet 1 of 1

HICKSVILLE WATER DISTRICT CORRESPONDENCE

LANGAN

TRANSMITTAL

Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401

To:

Paul J. Granger, PE

Superintendent

Hicksville Water District

4 Dean Street

Hicksville, NY 11801

Date:

October 15, 2021

Project No.:

190065402

Re:

Nassau Logistics Center

125 New South Road

Town of Oyster Bay, NY

Phone No.:

Via:

- Fed Ex: Priority Standard 2-Day
 UPS: Priority Standard 2-Day
 1st Class Mail Email

Items:

- Prints Letter Other
 Sepia Drawings Reports
 Other Application

Copies:

Dwg. No.:

Description:

1		Completed Application for Supply of Water
1		Water Supply Application Addendum
1	A2.1	Floor Plans Bldgs. 1 & 2
1	CD101, CS101, CU101, CS501, CS502, CS503	Existing Conditions, Site Plan, Utility Plan Details

- For Your Information For Your Use As Requested By: Paul Granger
 For Review and Comment For Approval Other: _____

Remarks: Please find the attached information for your review and issuance of a "will serve" letter to the referenced site.

Copies To: C. Utschig PE - Langan

From: Greg DelMastro

HICKSVILLE WATER DISTRICT

4 Dean Street, Hicksville, NY 11801 ♦ (516) 931.0184 ♦ (516) 931.6506 -Fax ♦ info@hicksvillewater.org



Application for Supply of Water

All information must be complete (please print or type).

Date: 9-29-2021 Account Number: _____
(Completed by District)

Owner's full Name: Lisa Lyng
(First Name) (Middle Initial) (Last Name)

Address: 250 Vesey Street-15th Flr New York NY 10281-1023
(Street) (Town/City) (State/Zip)

Home Phone: _____ Work Phone: 551-427-7171 E-Mail: lisa.lyng@brookfieldproperties.com
(Optional)

Address of property to be served (if different from above address):
125 New South Road Hicksville NY 11801
(Street) (Town/City) (State/Zip)

Section: 46 Block: N Lot: 30&31 Zoning District: LI

Plumber's Name & Contact Person: Greenfield Plumbing and Heating, Billy Greenfield, License # 1924

Address: 593 Hempstead Turnpike, Elmont, NY 11003 Phone: 516-431-1050
(Street) (Town/City) (State/Zip)

Type of Dwelling: (please check one of the following):

- One Family Residence
 Two Family Residence
 Condominium
 Other (Describe): _____

- Office Building
 Store
 Industrial
 Fire Service

Size of Water Service: 1" 1 1/2" 2" Other: 8" fire service
4" domestic
see attached addendum

Variance Required: *YES NO *If yes, provide a copy of the Variance issued by the Municipal Entity

Swimming Pool: YES NO Underground Sprinkler System: YES NO

➤ **APPLICATION FEE: \$200.00 PROCESSING FEE FOR RESIDENTIAL CONNECTIONS 2 INCHES OR LESS (PER CONNECTION). FOR NON-RESIDENTIAL AND RESIDENTIAL CONNECTIONS GREATER THAN 2 INCHES PLEASE CONTACT DISTRICT FOR FEE SCHEDULE INFORMATION.**

This Application cannot be accepted if all information has not been completed.

I, Lisa Lyng, certify that I am the owner of the premises at

125 New South Rd, Hicksville, NY 11801 located in Section: 46 Lot: N Block: 30&31

and I hereby apply for a supply of water for said premises. I agree that the water to serve said premises shall be used in conformity with the Ordinance Rules and Regulations of the Hicksville Water District, copies of which I have read and understood. I agree to pay for water service at the rate specified by the Board of Commissioners of the Hicksville Water District.

Date Application Completed: _____

Date Application Received: _____

Engineer/Architect's Address: Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C. One North Broadway, Suite 910, White Plains, NY 10601

 _____

Property Owner's Signature

Lisa Lyng

Please PRINT Name

 (551) 427-7171

Owner's Phone Number

APPROVED

***DENIED**

* Reason for Denial: _____

 _____

Board of Commissioners

Date

CUSTOMER INFORMATION:

- A single family residential dwelling allowance is up to 110,000 gallons per year.
- A two family residential dwelling allowance is up to 130,000 gallons per year.
- Commercial / Industrial and other residential accounts will be reviewed on an individual basis.

The following information must accompany this application:

1. Please submit a letter to the Commissioners of the Hicksville Water District describing the project. Provide domestic (average and peak), irrigation and fire flow demand information.
2. A copy of the property survey, prepared by a licensed surveyor showing all pertinent information, new Section, Block and Lot(s).
3. * "Application for Approval of a Backflow Prevention Device" must be completed (form DOH-347).
4. A full copy of the Building Plans showing the building dimensions, number of bedrooms, number of bathrooms, plumbing, floor space, slope of property, and the location of proposed utilities including but not limited to water, sewer lines, electric, gas and any drainage line and pools.

* NOTE: After installing a Backflow Prevention Device, a completed NYS Dept of Health form DOH-1013 - "Report on Test and Maintenance of Backflow Prevention Device" must be completed by a Certified Backflow Prevention Device Tester. This must be forwarded to our Board of Commissioners or the Hicksville Water District within thirty (30) days of the installation of the device.

* ONLY ONE INCH (1") SERVICE LINES AND PIT ASSEMBLIES CAN BE INSTALLED AT A NEW RESIDENTIAL DWELLING OR REMODELING WHICH REQUIRES A NEW SERVICE .

FIRE SYSTEM REQUIREMENTS:

If a fire sprinkler system is going to be present, a copy of the site plans/architect drawings must be submitted along with this application showing the following: hydrants, proposed sprinkler system, sprinkler heads, fire pump, location of double detector check assembly (DDCA), proposed location of connection to the Hicksville Water system, with the approval stamp of the Nassau County Fire Marshall, which must be filed with the District for approval of the fire service. Note: If the internal fire protection system utilizes hazardous chemicals then a reduced pressure detector assembly (RPDA) device is required.

- a) Gallons per minute required: 2740 (gpm)
- b) Dry System: Yes No
- c) Water Filled System: Yes No
- d) Additives used for Freeze Protection: Yes No

A COPY OF THIS APPLICATION MUST GO TO THE BUILDING DEPARTMENT AFTER APPROVAL BY THE DISTRICT

The Hicksville Water District will furnish and install a new service line tap in the water main. The owner or the licensed plumber will pay all fees required under this application; furnish all material, including copper piping, curb stop, curb box and rod, meter and backflow device assembly - all in accordance with the Hicksville Water District standard specifications. The owner or licensed plumber must also make all excavations, backfill, and compaction of backfill; obtain all roadway opening permits; restore all surfaces disturbed during performance of the work; test, flush and disinfect the new water service installation and place in continuous satisfactory service.

HICKSVILLE WATER DISTRICT

4 Dean Street, Hicksville, NY 11801 ♦ (516) 931.0184 ♦ (516) 931.6506 -Fax ♦
info@hicksvillewater.org



Owner Authorization Form

To Whom It May Concern:

I (WE), Lisa Lyng

AS THE OWNER(S) OF THE PREMISES SITUATED AT:

125 New South Road, Hicksville 11801
(STREET) (CITY) (ZIP CODE)

SECTION: 46 BLOCK: N LOT: 30&31

HAVE AUTHORIZED: Greenfield Plumbing and Heating

To DO: Plumbing work

AT SAID PREMISES.

SIGNED: 
(SIGNATURE)

1 Meadowlands Plaza East Rutherford, NJ

ADDRESS

(551) 427-7171

TELEPHONE NUMBER

10/15/2021

DATE

HICKSVILLE WATER DISTRICT GENERAL REQUIREMENTS FOR NON-RESIDENTIAL FIRE & DOMESTIC SERVICES

The following information shall outline the general requirements of the Hicksville Water District and serve as a guideline for planning the layout, design and construction of the domestic water and fire services and may not be applicable for all situations. Specific approval must be obtained from the Water District for work different than described herein.

1. Three sets of stamped site grading/drainage/utility plans along with the deposit of a certified check in the amount of \$5,000 (payable to Hicksville Water District) must be delivered to the Water District along with a completed application for water service. The District will use this \$5,000 to fund outside consulting engineering costs. Any funds not utilized at the completion of the project will be returned.
2. An additional certified check of \$2,000 (payable to Hicksville Water District) shall be provided to the Water District along with a completed application for water service. This \$2,000 is a non-refundable application fee.
3. The Water District's consulting engineer, H2M Architects + engineers, will review the site and utility plan and provide comments and a letter of water availability.
4. Inspection services will be required during installation of the service stubs, including the site piping from the property line to inside the building. Inspection will also include verification of satisfactory pressure testing of the rigid piping. The owner shall be responsible for employment and coordination of a pre-approved water main contractor for piping installation work. All work and associated costs shall be borne by the owner/builder.
5. All rigid pipe shall be cement-lined ductile iron (DIP) - Class 52, conforming to standard AWWA C151. Copper tubing shall be type "K".
6. Mechanical Joint fittings (AWWA C110 or C153) shall be used on ductile-iron piping. All vertical bends shall be rodded on both ends of the mechanical connection. Retainer glands shall also be used on all mechanical joints.
7. Vertical gate valves up to and including 12-inch diameter shall be resilient wedge (AWWA C509) types. All valves 16-inches through 24-inches in diameter shall be butterfly type conforming to AWWA C504.
8. Hydrants shall be the Eddy Hydrant, # F-2640 as manufactured by Clow Valve Co. The threaded hose connections must be in conformance with the local Fire Department standards.
9. All fittings, bolts, threaded rods, retainer glands, etc. shall be new material. No used materials will be allowed.
10. The new section of main shall be properly chlorinated to at least 200 ppm (mg/l) for a minimum of 24 hours. Any residual pressure in the chlorinated piping shall be relieved prior to the 24-hour "cook" period. The main shall then be blown off to remove the chlorine solution and then pressure tested to at least 150 psi and held for two (2) hours; fire lines shall be tested to 200 psi. The chlorinated solution from the main shall be used when pumping up the main with the testing equipment. No leakage will be permitted during the test. Following satisfactory completion of the pressure test, the main shall be flushed again to remove the chlorinated water used in the pressure test. The Water District must be notified prior to any flushing activities.
11. The water main or service pipes must then be isolated and remain undisturbed for a minimum of 24 hours. At that point, the first bacteriological samples may be taken without further flushing. The main must again be isolated and sit for another 24 hours. The second bacteriological sample may then be taken, again without flushing. This method will be repeated as required until two consecutive, negative bacteriological samples for each designated run of pipe are obtained.

Short sections of pipe and associated fittings that must be immediately placed back into service (offsets, cut-ins, repairs, etc.) shall be internally swabbed with a high concentration chlorine solution with a

maximum contact time prior to installation. Adequate flushing shall be employed following completion of the repair in order to reduce the chlorine level to safe, normal levels.

12. The Water District shall perform the actual shutdown and must be notified at least 72 hours in advance. The contractor shall not operate any distribution system valves.

13. The customers to be out of service during the shutdown period must be determined and then notified at least 24 hours in advance; large or sensitive-use customers may require more notice and this will be determined at the discretion of the District. The District may also require that shut downs be made during "off hours" (late evenings, early mornings, weekends, etc.) in order to minimize inconvenience to existing customers. The water main contractor shall closely coordinate with the Water District on these matters.

14. Water District personnel or a representative of the District must be present when flushing or testing the new piping.

15. Where rodding is required (between mechanical bends, tees) "L" shaped eye bolts shall be used. "Duc-Lugs" will not be permitted.

16. Any section of existing District water main that has been undermined or its supporting soil compromised must be removed and replaced with new water main and appurtenances. This replacement shall take place only after the disturbed soil in the vicinity of the main has been compacted in 6" lifts from the depth of the original excavation to grade. The limits of main replacement shall include a minimum of 5 feet into undisturbed soil or the nearest joint, whichever is greater on each side of the spanned excavation.

Specific requirements for runs of fire line and domestic services to the building shall be as follows:

- A. The Hicksville Water District, as authorized under State Sanitary Code Subpart 5-1, Section 31, is requiring a new reduced pressure zone (RPZ) device on the domestic service line and a double detector check assembly (DDCA) for the fire line. Certain applications will require the use of a reduced pressure zone device (RPZ) on fire line in particular when a fire department connection or private hydrant is present. As with any backflow prevention submittal, plans must be submitted to the Water District for review, approval and forwarding to the Nassau County Department of Health (NCDH). The NCDH requires a sized-based fee for each commercial submission. You may contact the Health Department to verify current submittal fees.
- B. RPZ's and meters shall be installed outside in a vault located along the property fronting the public right-of-way or inside building. Heated enclosures may be used to house RPZ in lieu of an earth-bermed vault. Separate below-ground vaults are recommended for the meter installation. In certain instances, the District will permit the installation of backflow devices within the building. These instances shall be approved by District.
- C. Domestic meters are to be purchased through the Water District. The application, tapping and filing fee for new services shall be paid to the District prior to receiving water service. Where a private hydrant is to be located off of the fire sprinkler line, a FM/UL approved fire series meter shall be utilized.
- D. Annual fire line rental fees will be invoiced to the owner of the property. The fees are \$400, \$600, \$800 and \$1,000 for each fire line of sizes 4", 6", 8", and 10", respectively.
- E. Water piping shall be installed in undisturbed soil. No other utilities will occupy water trenches. Horizontal separation distances of 3'-0" shall be maintained between fire and domestic services and between water piping and other utilities or structures, unless otherwise specified. Sharing of trenches with other utilities will not be permitted.

- F. Copper and ductile-iron piping entering the building foundation walls and/or floor slabs shall be wrapped with appropriately sized Arma-Flex at the pipe-concrete interface.
- G. Ductile-iron piping stubs inside the building shall be left flanged at a minimum distance of 24 inches above the floor. The end shall be blind flanged and tapped for purposes of blowing off, testing and sampling. Rodding shall be provided continuously from the flange, through the slab, to the elbow. Being a vertical bend, the elbow shall be rodded back to the next fitting (or clamp).
- H. On fire services utilizing a booster pump system, a pump suction control valve must be installed immediately following the fire pump.
- I. Domestic and fire services larger than 2" shall be by a 3-valve or 4-valve cut-in only. A curb stop and box must be installed on all copper service lines at or about the property line. The minimum size gate valve allowed by the Water District is 6".
- J. A 10-foot horizontal and 18-inch minimum vertical separation from the sanitary and drainage facilities must be maintained. In cases where the water piping is above the sanitary piping and a 10-foot horizontal separation is not practical, the 18-inch minimum vertical clearance must be observed and a length of ductile iron water main shall be centered at the point of crossing. In cases where the sanitary piping is above the water piping, the sanitary piping shall be pressure rated, equivalent to the water piping. Water lines must be installed 10 feet clear of any leaching basins.
- K. Many of the above noted points are covered in greater detail in Hicksville Water District-published Standard Specifications and Typical Details. The District reserves the right to change or modify these specifications as conditions warrant and at its sole discretion.

Please understand that the Hicksville Water District is ultimately concerned with providing safe, quality drinking water to thousands of people in the service area. In these efforts, the district takes interest in seeing that quality water facility construction is maintained from the supply main to the building being served.

Updated: 4.14.2020

X:\District Operating Procedures & misc programs\New Water Service Connections\Draft Application Worksheets\General Req Non-Residential.doc

HICKSVILLE WATER DISTRICT

4 Dean Street, Post Office Box 9065, Hicksville, N.Y. 11802-9065
Phone: (516) 931-0184, Fax: (516) 931-6506

BOARD OF WATER COMMISSIONERS

Nicholas J. Brigandi
Commissioner

Karl M. Schweitzer
Commissioner

William E. Schuckmann
Commissioner



SUPERINTENDENT
Paul J. Granger, P.E.

DISTRICT TREASURER
Vincent Abbatiello, CPA

Effective, responsible water resource management, since 1921

Approved Water Main Contractor List

Alessio Pipe & Construction Co., Inc
102 Fairground Avenue
Huntington Station, NY 11746
(631) 423-0234

Bancker Construction Corp.
171 Freeman Ave.
Islip, NY 11751
(631) 582-8880

Merrick Utility Associates, Inc.
91 Marine Street
Farmingdale, NY 11735
(631) 249-2560

Orchid Sewer & Water Contracting Corp.
11 Dennis Street
Garden City, NY 11040
(516) 747-1311

Last update: 04.14.2020

X:\District Operating Procedures & misc programs\New Water Service Connections\Approved Water Main Contractor List.docx

Hicksville Water District Instructions for the Design and Installation of Reduced Pressure Zone Devices

- a.) *Application:* NYSDOH Form DOH-347 – Application for Approval of Backflow Prevention Devices. Sections 1 through 13 must be completely filled out. The water district completes section 14 if the application and plan are approved. Four copies of the application with original licensed engineer or architect stamp and signatures are required.
- b.) Hicksville Water District plan review and inspection fee – See new water service application instructions.
- c.) *Plan:* must be sealed by a licensed engineer or registered architect and conform to the requirements of the New York State Sanitary Code, Nassau County Public Health Ordinance. Plan must detail at a minimum the device in plan and section view and required regulatory agency notes. Four sets of plans are required. The Plan shall include the following:

I. Required Reduced Pressure Zone (RPZ) Device Design Notes and Comments:

- All connections on the domestic and fire service lines shall be down stream of RPZ. Bypassing a backflow prevention device is a violation of Part 5 of the New York State Sanitary Code.
- Backflow device installations shall be in accordance with Article VI of the Nassau County Public Health Ordinance, Part 5 of the New York State Sanitary Code and Town of North Hempstead Plumbing Code. Backflow devices must be listed on the New York State Health Department list of approved devices. *Plan must state the backflow device manufacturer and model.*
- A New York State certified backflow prevention device tester shall test the RPZ on an annual basis with the results reported to the Hicksville Water District on NYSDOH form Gen 215.
- The device must be installed by a plumber who is licensed by the Town of North Hempstead.
- Device shall be protected from freezing and flooding.
- All hose bibs must be installed / retrofitted with vacuum breakers.
- Provide 30 inch minimum clearance from any obstruction in order to facilitate testing and maintenance. Provide 8 inch minimum clearance from any obstruction from sides and rear of device. Provide 12 inch minimum clearance from any obstruction from top of device.
- Shutoff valves on devices must be resilient seat type.
- Provide 12 inch minimum clearance from top of drain funnel to RPZ drain discharge and 18 inch minimum clearance from RPZ drain discharge to finished floor. Drainage must be positive with the effluent visible.
- **Notification to the Hicksville Water District :** The plumber shall notify the Superintendent or Field Supervisor at least 24 hours prior to the commencement of any work. Telephone number: 516.767.0171.

Hicksville Water District

Instructions for the Design and Installation of Reduced Pressure Zone Devices

II. Required Dimensions and Clearances:

- Thirty (30") to sixty (60") inches from centerline of RPZ device to floor. Any installation at a greater height shall be provided with a fixed platform, a portable scaffold or a lift meeting OSHA standards.
- Thirty (30") inch minimum from test cocks to any obstructions.
- Eight (8") inch minimum from centerline of device to wall.
- Eighteen (18") inch minimum from relief spout to floor.
- All building dimensions.
- Room dimensions for interior applications.
- Vault dimensions for exterior applications.

III. Additional Plan Requirements:

- P.E. or R.A. seal on plans.
- State manufacturer, model number and size of device.
- Identify premises on plans.
- Show two (2) views of device-plan and section.
- Show accurate test cock location.
- Indicate grade on all plans.

III. Additional Plan Requirements (cont.):

- RPZ must be above grade. Give specific drainage details.
- Provide site plan indicating street name, location of water main and all services, location of meter and RPZ device. Show all service lines and indicate sizes.
- Give adequate (3"x5") space for Health Department approval stamp.
- All material must be submitted to this office in quadruplicate.
- Fire service line RPZ devices must be equipped with a detector assembly (for example a Febco Model 826YD is equipped with a detector assembly).

c.) Other important information for the developer / property owner pertaining to RPZ installations:

- The water district must receive health department approval before device installation can commence. Approved application and plan are maintained on file by the district.
- After completion of the installation, the Hicksville Water District will make a physical inspection of the device and water service. **The installation of the device MUST match the approved drawings.** The contractor must submit to this office a copy of a certified test of this device on form number **DOH 1013** before water service can be provided.
- Plumbers or contractors must be licensed by the Town (Town of Oyster Bay or Hempstead) and file all permits required by the Town. All work must comply with prevailing state, county and water district requirements.
- After installation, the property owner is responsible for an annual test. The test results must be sent to the Hicksville Water District on form **DOH 1013**.



Technical Excellence
Practical Experience
Client Responsiveness

Nassau Logistics Center
125 New South Road
Hicksville, NY 11801

Water Supply Application Addendum

This water supply application request includes both a fire service and a domestic service to two separate warehouse buildings proposed for the Site. The request includes a main extension onto the property. The 8" diameter ductile iron fire service line includes a fire loop with fire hydrant's around the property tapping into the water main on Commerce Place and a second tap in the water line on New South Road. This fire service line includes an exterior backflow preventer. The domestic service includes a 4" diameter ductile iron line with a service to each building.

PROJECT NO. 17000043

SITE PLAN APPROVAL DOCUMENTS

NASSAU LOGISTICS CENTER

TOWN OF OYSTER BAY NASSAU COUNTY, NEW YORK SECTION 46, BLOCK N, LOTS 30 & 31

CONTACTS	
OWNER/APPLICANT	
12018 NASSAU LOGISTICS CENTER LLC 200 HOLEY STREET - 11TH FLOOR NEW YORK, NY 10001-1121	
TEL: (212) 424-1141	CONTACT: USA LPAC
CIVIL ENGINEER	
LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE ARCHITECTURE AND GEOLOGY, D.P.C. ONE NORTH BROADWAY SUITE 910 ROSE PLAINS, NY 10601	
TEL: (914) 563-1900	CONTACT: W. CHARLES VITSOLO, P.E. CHRISTINA M. ZILCO, P.E.
SURVEYOR	
LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE ARCHITECTURE AND GEOLOGY, D.P.C. ONE NORTH BROADWAY SUITE 910 ROSE PLAINS, NY 10601	
TEL: (914) 563-1900	CONTACT: ANDREW WHEELER, L.L.C.
ARCHITECT	
W. B. ARCHITECTS 2274 101ST STREET, SUITE 102 NY, NY 10035	
TEL: (212) 946-3500	CONTACT: BOB WARDEN

SITE INFORMATION	
ADDRESS:	12018 NASSAU LOGISTICS CENTER LLC
SECTION:	46
BLOCK:	N
LOT:	30 & 31
TOT. AREA:	151 AC
PERMITS:	18.07 AC
OWNER:	LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE ARCHITECTURE AND GEOLOGY, D.P.C.
DESIGNER:	LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE ARCHITECTURE AND GEOLOGY, D.P.C.



LOCATION MAP
SCALE: 1" = 300'

DRAWING LIST				
DRAWING NO.	SHEET NO.	DRAWING TITLE	REVISION NO.	REVISION DATE
CS000	1 OF 17	COVER SHEET	0	12/12/2013
CS001	2 OF 17	EXISTING CONDITIONS & SITE RECONSTRUCTION PLAN	5	12/12/2013
CS002	3 OF 17	SITE PLAN	5	12/12/2013
CS003	4 OF 17	TRUCK TURNING MOVEMENT PLAN	3	12/12/2013
CS004	5 OF 17	LANDING PLAN	5	12/12/2013
CS005	6 OF 17	STAIRWELL PLAN	3	12/12/2013
CS006	7 OF 17	SITE PROGRESS	3	12/12/2013
CS007	8 OF 17	UTILITY PLAN	5	12/12/2013
CS008	9 OF 17	EROSION & SEDIMENT CONTROL PLAN	5	12/12/2013
CS009	10 OF 17	DETAILS (1) OF 10	3	12/12/2013
CS010	11 OF 17	DETAILS (2) OF 10	3	12/12/2013
CS011	12 OF 17	DETAILS (3) OF 10	3	12/12/2013
SP001	13 OF 17	PLANNING PLAN	5	12/12/2013
SP002	14 OF 17	PLANNING NOTES & DETAILS	3	12/12/2013
SP003	15 OF 17	PLANNING DETAILS	3	12/12/2013
CS001	16 OF 17	SITE LIGHTING PLAN	5	12/12/2013
CS002	17 OF 17	SITE LIGHTING NOTES & DETAILS	3	12/12/2013

REVISION	DATE	BY
01/12/13	01/12/13	WCV
02/12/13	02/12/13	WCV
03/12/13	03/12/13	WCV
04/12/13	04/12/13	WCV

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Landscape Architecture and Geology, D.P.C.
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Rose Plains, NY 10601

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NASSAU LOGISTICS CENTER

SECTION 46, BLOCK N, LOT NO. 30 & 31
TOWN OF OYSTER BAY
NASSAU COUNTY, NEW YORK

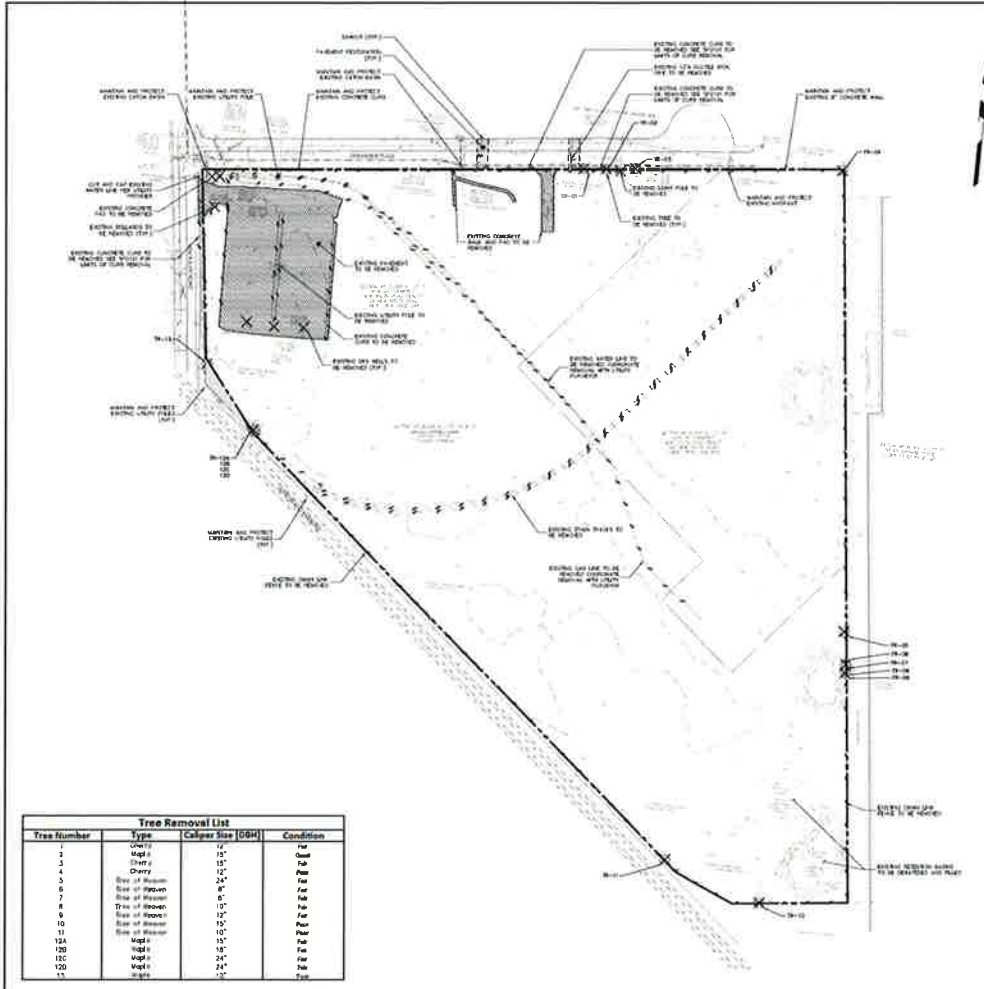
COVER SHEET

PROJECT NO. 17000043
DATE 12/12/13
FROM BY WCV
CHECKED BY WCV

CS001

SCALE: 1" = 300'

REVISIONS TO BE INDICATED BY RED
DIMENSIONS TO BE INDICATED BY RED
ALL DIMENSIONS TO BE INDICATED BY RED
UNLESS OTHERWISE SPECIFIED
DIMENSIONS TO BE INDICATED BY RED
DIMENSIONS TO BE INDICATED BY RED



REFERENCE NOTES

- EXISTING SITE FEATURES, EXISTING UTILITIES AND EXISTING STRUCTURES SHOWN HEREON ARE FROM THE CITY RECORDS, PLANNING DEPARTMENT, TOWN OF OYSTER BAY, NEW YORK. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES AND REPORT TO THE OWNER AS NECESSARY AT HIS RISK.

SITE REMOVALS NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LABOR, MATERIALS, EQUIPMENT, SUPPLIES, TRANSPORTATION, STORAGE, WASTE REMOVAL, PERMITS, TESTING, TESTING COSTS, SAFETY, SECURITY, INSURANCE, AND ALL OTHER ASPECTS OF RELATED ITEMS NECESSARY TO COMPLETE THE WORK OF WORK DESCRIBED IN THE SECTION.
- ALL MATERIALS AND WASTE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AS DIRECTED BY THE OWNER OR LOCAL AGENCIES.
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LEGEND

- PROPOSED PROPERTY LINE
- X TREE TO BE REMOVED
- TREE TO BE REMOVED
- EXISTING PLUMBING/MECHANICAL
- EXISTING
- PROPOSED

Tree Removal List			
Tree Number	Type	Caliper Size (DBH)	Condition
1	Maple	12"	Fair
2	Maple	15"	Good
3	Cherry	15"	Fair
4	Cherry	12"	Fair
5	Size of Removal	24"	Fair
6	Size of Removal	6"	Fair
7	Size of Removal	6"	Fair
8	Size of Removal	15"	Fair
9	Size of Removal	12"	Fair
10	Size of Removal	15"	Fair
11	Size of Removal	10"	Fair
12A	Maple	15"	Fair
12B	Maple	15"	Fair
12C	Maple	24"	Fair
12D	Maple	24"	Fair
13	Maple	15"	Fair

SCALE: 1" = 10'-0"

DATE	DESCRIPTION	BY
01/11/11	LIST WORK	...
01/17/11	GENERAL SITE PLAN REVISIONS	...
01/18/11	GENERAL SITE PLAN REVISIONS	...
01/22/11	NEW PER SIGN COMMENTS	...
01/24/11	GENERAL SITE PLAN REVISIONS	...

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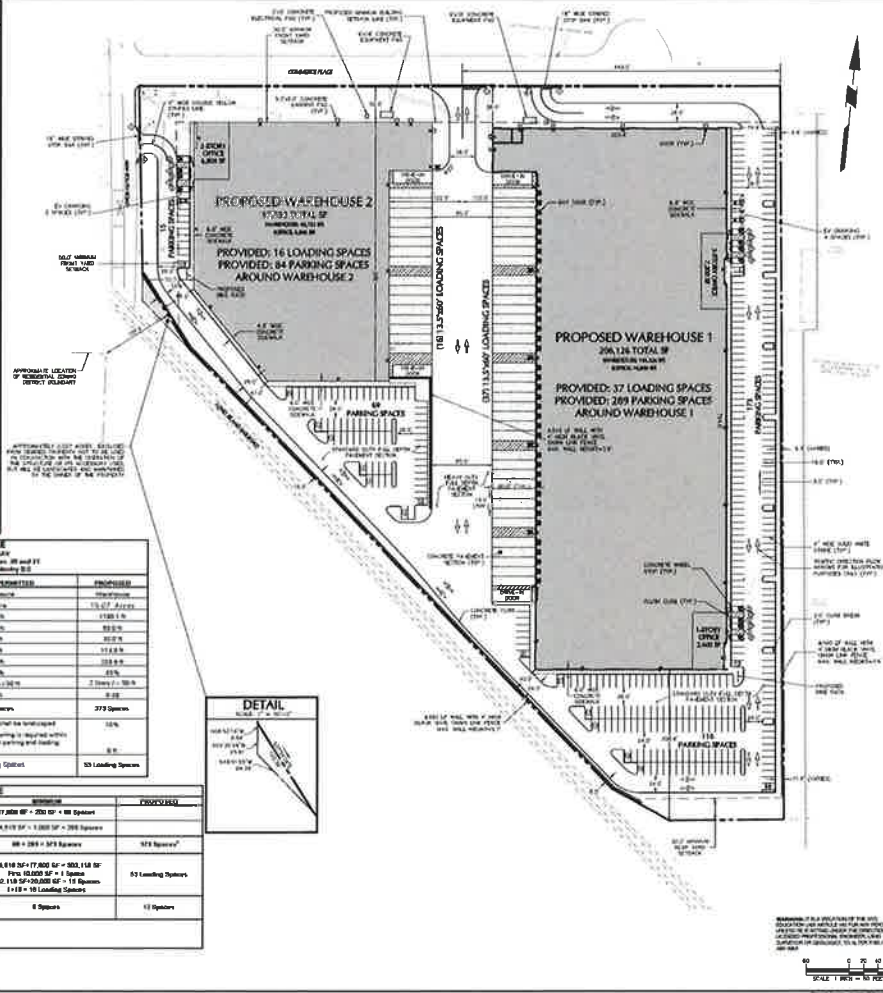
NASSAU LOGISTICS CENTER
 SECTION No. 46, BLOCK No. 4, LOT No. 30 & 31
 TOWN OF OYSTER BAY, NEW YORK

EXISTING CONDITIONS AND SITE REMOVALS PLAN

PROJECT NO: **CD101**
 DRAWING NO: **CD101**
 DATE: **2011**
 DRAWN BY: **...**
 CHECKED BY: **...**

GENERAL NOTES

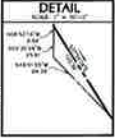
1. THE CONTRACTOR SHALL CALL TWO WEEKS BEFORE ANY WORK BEGINS TO CONFIRMATION OF ANY CONSTRUCTION CALL 1-800-442-7443 OR BY FAX 202-462-8622.
2. ALL EXISTING UTILITIES UNDER SHALL BE LOCATED AND DEPTH BY THE FIELD OF THE CONTRACTOR PRIOR TO ANY WORK BEING PERFORMED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT PROPERTIES.
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19. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT PROPERTIES.
20. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT PROPERTIES.



NO.	SYMBOL	DESCRIPTION	DATE	BY	REVISION
1	(Symbol)	ADD	07/15/21	JAN	ADD
2	(Symbol)	REV	07/15/21	JAN	REV
3	(Symbol)	ADD	07/15/21	JAN	ADD
4	(Symbol)	REV	07/15/21	JAN	REV

LEGEND	
(Symbol)	EXISTING PROPERTY LINE
(Symbol)	PROPOSED BUILDING
(Symbol)	PROPOSED DRIVE
(Symbol)	PROPOSED SIDEWALK
(Symbol)	PROPOSED CURB
(Symbol)	PROPOSED UTILITY
(Symbol)	PROPOSED FENCE
(Symbol)	PROPOSED SIGN

ZONING TABLE			
CODE	MINIMUM REQUIREMENTS	REQUIRED/PERMITTED	PROPOSED
Commercial 10	Min. Lot Area: 10,000 sq. ft.	Min. Lot Area: 10,000 sq. ft.	17,793 sq. ft.
Commercial 12	Min. Lot Area: 15,000 sq. ft.	Min. Lot Area: 15,000 sq. ft.	204,124 sq. ft.
Commercial 14	Min. Lot Area: 20,000 sq. ft.	Min. Lot Area: 20,000 sq. ft.	204,124 sq. ft.
Commercial 16	Min. Lot Area: 25,000 sq. ft.	Min. Lot Area: 25,000 sq. ft.	204,124 sq. ft.
Commercial 18	Min. Lot Area: 30,000 sq. ft.	Min. Lot Area: 30,000 sq. ft.	204,124 sq. ft.
Commercial 20	Min. Lot Area: 35,000 sq. ft.	Min. Lot Area: 35,000 sq. ft.	204,124 sq. ft.
Commercial 22	Min. Lot Area: 40,000 sq. ft.	Min. Lot Area: 40,000 sq. ft.	204,124 sq. ft.
Commercial 24	Min. Lot Area: 45,000 sq. ft.	Min. Lot Area: 45,000 sq. ft.	204,124 sq. ft.
Commercial 26	Min. Lot Area: 50,000 sq. ft.	Min. Lot Area: 50,000 sq. ft.	204,124 sq. ft.
Commercial 28	Min. Lot Area: 55,000 sq. ft.	Min. Lot Area: 55,000 sq. ft.	204,124 sq. ft.
Commercial 30	Min. Lot Area: 60,000 sq. ft.	Min. Lot Area: 60,000 sq. ft.	204,124 sq. ft.
Commercial 32	Min. Lot Area: 65,000 sq. ft.	Min. Lot Area: 65,000 sq. ft.	204,124 sq. ft.
Commercial 34	Min. Lot Area: 70,000 sq. ft.	Min. Lot Area: 70,000 sq. ft.	204,124 sq. ft.
Commercial 36	Min. Lot Area: 75,000 sq. ft.	Min. Lot Area: 75,000 sq. ft.	204,124 sq. ft.
Commercial 38	Min. Lot Area: 80,000 sq. ft.	Min. Lot Area: 80,000 sq. ft.	204,124 sq. ft.
Commercial 40	Min. Lot Area: 85,000 sq. ft.	Min. Lot Area: 85,000 sq. ft.	204,124 sq. ft.
Commercial 42	Min. Lot Area: 90,000 sq. ft.	Min. Lot Area: 90,000 sq. ft.	204,124 sq. ft.
Commercial 44	Min. Lot Area: 95,000 sq. ft.	Min. Lot Area: 95,000 sq. ft.	204,124 sq. ft.
Commercial 46	Min. Lot Area: 100,000 sq. ft.	Min. Lot Area: 100,000 sq. ft.	204,124 sq. ft.
Commercial 48	Min. Lot Area: 105,000 sq. ft.	Min. Lot Area: 105,000 sq. ft.	204,124 sq. ft.
Commercial 50	Min. Lot Area: 110,000 sq. ft.	Min. Lot Area: 110,000 sq. ft.	204,124 sq. ft.
Commercial 52	Min. Lot Area: 115,000 sq. ft.	Min. Lot Area: 115,000 sq. ft.	204,124 sq. ft.
Commercial 54	Min. Lot Area: 120,000 sq. ft.	Min. Lot Area: 120,000 sq. ft.	204,124 sq. ft.
Commercial 56	Min. Lot Area: 125,000 sq. ft.	Min. Lot Area: 125,000 sq. ft.	204,124 sq. ft.
Commercial 58	Min. Lot Area: 130,000 sq. ft.	Min. Lot Area: 130,000 sq. ft.	204,124 sq. ft.
Commercial 60	Min. Lot Area: 135,000 sq. ft.	Min. Lot Area: 135,000 sq. ft.	204,124 sq. ft.
Commercial 62	Min. Lot Area: 140,000 sq. ft.	Min. Lot Area: 140,000 sq. ft.	204,124 sq. ft.
Commercial 64	Min. Lot Area: 145,000 sq. ft.	Min. Lot Area: 145,000 sq. ft.	204,124 sq. ft.
Commercial 66	Min. Lot Area: 150,000 sq. ft.	Min. Lot Area: 150,000 sq. ft.	204,124 sq. ft.
Commercial 68	Min. Lot Area: 155,000 sq. ft.	Min. Lot Area: 155,000 sq. ft.	204,124 sq. ft.
Commercial 70	Min. Lot Area: 160,000 sq. ft.	Min. Lot Area: 160,000 sq. ft.	204,124 sq. ft.
Commercial 72	Min. Lot Area: 165,000 sq. ft.	Min. Lot Area: 165,000 sq. ft.	204,124 sq. ft.
Commercial 74	Min. Lot Area: 170,000 sq. ft.	Min. Lot Area: 170,000 sq. ft.	204,124 sq. ft.
Commercial 76	Min. Lot Area: 175,000 sq. ft.	Min. Lot Area: 175,000 sq. ft.	204,124 sq. ft.
Commercial 78	Min. Lot Area: 180,000 sq. ft.	Min. Lot Area: 180,000 sq. ft.	204,124 sq. ft.
Commercial 80	Min. Lot Area: 185,000 sq. ft.	Min. Lot Area: 185,000 sq. ft.	204,124 sq. ft.
Commercial 82	Min. Lot Area: 190,000 sq. ft.	Min. Lot Area: 190,000 sq. ft.	204,124 sq. ft.
Commercial 84	Min. Lot Area: 195,000 sq. ft.	Min. Lot Area: 195,000 sq. ft.	204,124 sq. ft.
Commercial 86	Min. Lot Area: 200,000 sq. ft.	Min. Lot Area: 200,000 sq. ft.	204,124 sq. ft.
Commercial 88	Min. Lot Area: 205,000 sq. ft.	Min. Lot Area: 205,000 sq. ft.	204,124 sq. ft.
Commercial 90	Min. Lot Area: 210,000 sq. ft.	Min. Lot Area: 210,000 sq. ft.	204,124 sq. ft.
Commercial 92	Min. Lot Area: 215,000 sq. ft.	Min. Lot Area: 215,000 sq. ft.	204,124 sq. ft.
Commercial 94	Min. Lot Area: 220,000 sq. ft.	Min. Lot Area: 220,000 sq. ft.	204,124 sq. ft.
Commercial 96	Min. Lot Area: 225,000 sq. ft.	Min. Lot Area: 225,000 sq. ft.	204,124 sq. ft.
Commercial 98	Min. Lot Area: 230,000 sq. ft.	Min. Lot Area: 230,000 sq. ft.	204,124 sq. ft.
Commercial 100	Min. Lot Area: 235,000 sq. ft.	Min. Lot Area: 235,000 sq. ft.	204,124 sq. ft.



SECTION	LOT AREA	NO.
SECTION 10	10,000 sq. ft.	1
SECTION 20	20,000 sq. ft.	2
SECTION 30	30,000 sq. ft.	3
SECTION 40	40,000 sq. ft.	4
SECTION 50	50,000 sq. ft.	5
SECTION 60	60,000 sq. ft.	6
SECTION 70	70,000 sq. ft.	7
SECTION 80	80,000 sq. ft.	8
SECTION 90	90,000 sq. ft.	9
SECTION 100	100,000 sq. ft.	10

LANGAN
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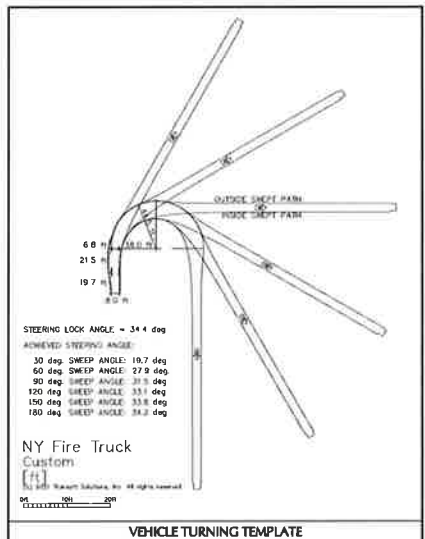
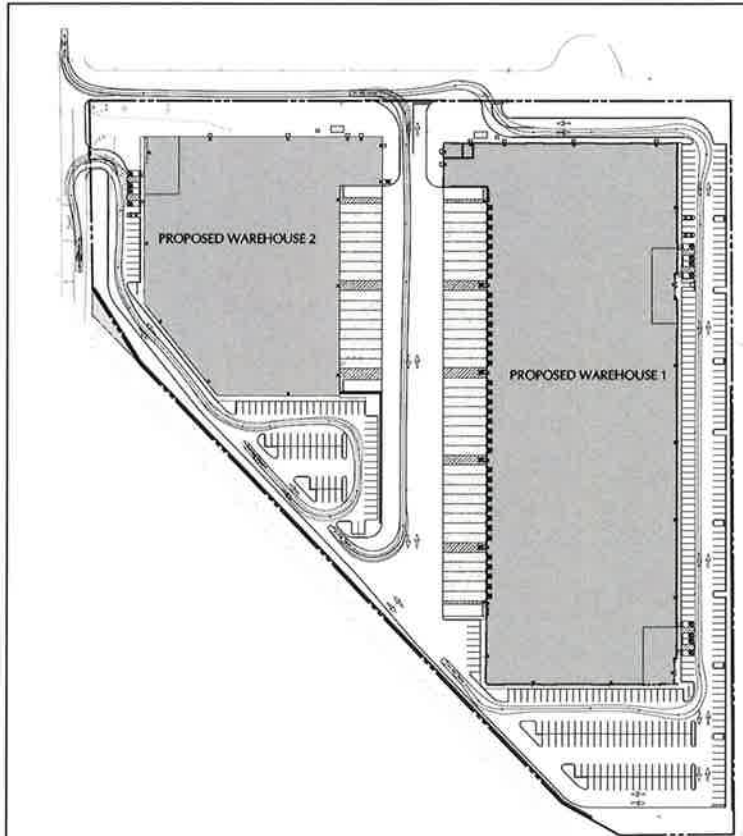
NASSAU LOGISTICS CENTER
SECTION 10, BLOCK 10, LOT 10, M & Z
TOWN OF COTTER BAY
NASSAU COUNTY, FLORIDA

SITE PLAN

PROJECT NO: 21-0000-001
DATE: 07/15/21
DRAWN BY: JAN
CHECKED BY: JAH
SCALE: 1" = 40' - 0"

CS101

Sheet 3 of 13



01/21/23	REV AREA	3
01/21/23	GENERAL SITE PLAN REVISION	4
01/21/23	GENERAL SITE PLAN REVISION	3
01/21/23	REV PER TOWN COMMENTS	2
01/21/23	GENERAL SITE PLAN REVISION	1

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NASSAU LOGISTICS CENTER
 SECTION No. 46, BLOCK No. 14, LOT No. 24 B 11
 TOWN OF OYSTER BAY
 NASSAU COUNTY NEW YORK

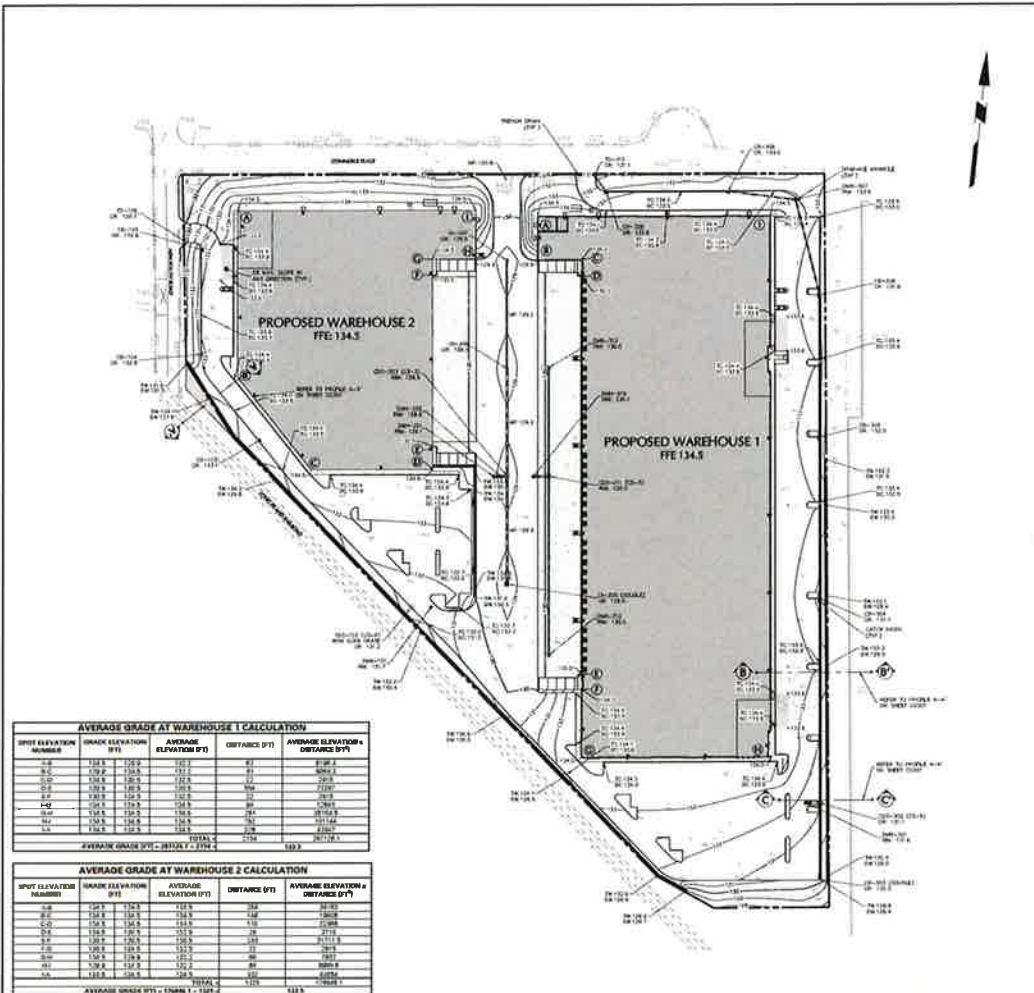
TRUCK TURNING MOVEMENT PLAN

Project No.	190000451	Drawing No.	CS201
Date	09/20/22	Scale	AS SHOWN
Drawn By	JAH	Checked By	JAH
Reviewed By	CEJ	Scale	AS SHOWN

THIS PLAN IS A PORTION OF THE SITE PLAN FOR THE PROPOSED NASSAU LOGISTICS CENTER, TOWN OF OYSTER BAY, NASSAU COUNTY, NEW YORK. THE COMPLETE SITE PLAN IS AVAILABLE FOR REVIEW AT THE OFFICE OF THE TOWN ENGINEER, TOWN OF OYSTER BAY, 100 SOUTH BROADWAY, SUITE 910, WHITE PLAINS, NY 10601.

SCALE: 1" = 40' (SEE PLAN)

PROJECT NO. 190000451



- GRADING NOTES**
1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND RECORD PLANS TO BE SHOWN. CONTRACTOR MUST SUBMITTE PLAN TO OBTAIN FINAL APPROVAL FROM THE DISTRICT ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE ACCURACY OF THE RECORD PLANS TO BE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE ACCURACY OF THE RECORD PLANS TO BE SHOWN.
 2. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AHEAD WORK/INSTALLATION OF SERVICE TO BE SHOWN BY THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO START OF GRADING.
 3. THE CONTRACTOR SHALL COMPLETE FILING WITH AGRICULTURE DEPARTMENT TO OBTAIN APPROVAL OF OFF-ROAD DRIVEWAY AND PAVEMENT TO BE SHOWN AND CONSTRUCTION OF DRIVEWAY AND TRUCK DRIVEWAY SHALL BE SHOWN.
- ABBREVIATIONS**
- FFE = FINISHED FLOOR ELEVATION
 - TC = TOP OF CURB
 - BC = BOTTOM OF CURB
 - TO = TOP OF SILL
 - BE = BOTTOM OF SILL
 - TOP = TYPICAL
4. EXISTING UTILITY UTILITY MARKERS SHALL BE GRIVEN, VERIFIED CHECKS, ETC. SHALL BE PROVIDED TO ALL UTILITIES AND FINISHED GRADE.

LEGEND

---	EXISTING PROPERTY LINE
---	GRADE CONTOURS
---	GRADE CONTOUR
---	SURFACE NOT AS EXCEED
---	PER 5% SLOPE
---	CURB MARK
---	GRADATION MARKING
---	CUTS LIMIT

AVERAGE GRADE AT WAREHOUSE 1 CALCULATION

SPOT ELEVATION NUMBER	MARK ELEVATION (F)	AVERAGE ELEVATION (F)	DISTANCE (FT)	AVERAGE ELEVATION x DISTANCE (F) ²
2.0	128.9	128.9	81	8123.41
2.1	129.8	129.8	124	16445.12
2.2	130.8	130.8	144	19470.72
2.3	131.8	131.8	189	24362.25
2.4	132.8	132.8	225	28665.00
2.5	133.8	133.8	276	35693.28
2.6	134.8	134.8	324	42791.52
2.7	135.8	135.8	369	49950.81
2.8	136.8	136.8	420	57171.60
2.9	137.8	137.8	476	64453.44
3.0	138.8	138.8	528	71896.64
A.A.	128.9	128.9	228	25791.36
TOTAL			3744	387722.40
AVERAGE GRADE (SPOT - DISTANCE) / TOTAL				134.6

AVERAGE GRADE AT WAREHOUSE 2 CALCULATION

SPOT ELEVATION NUMBER	MARK ELEVATION (F)	AVERAGE ELEVATION (F)	DISTANCE (FT)	AVERAGE ELEVATION x DISTANCE (F) ²
2.0	128.9	128.9	81	8123.41
2.1	129.8	129.8	124	16445.12
2.2	130.8	130.8	144	19470.72
2.3	131.8	131.8	189	24362.25
2.4	132.8	132.8	225	28665.00
2.5	133.8	133.8	276	35693.28
2.6	134.8	134.8	324	42791.52
2.7	135.8	135.8	369	49950.81
2.8	136.8	136.8	420	57171.60
2.9	137.8	137.8	476	64453.44
3.0	138.8	138.8	528	71896.64
A.A.	128.9	128.9	228	25791.36
TOTAL			3744	387722.40
AVERAGE GRADE (SPOT - DISTANCE) / TOTAL				134.3

12/17/22	LOI AREA	5
01/27/23	GENERAL SITE PLAN REVISION	4
11/07/23	GENERAL SITE PLAN REVISION	3
11/02/23	SEX. FEM. TOWN CONSULT	2
06/02/23	GENERAL SITE PLAN REVISION	1



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Architecture and Design, D.P.C.
One South Boulevard, Suite 810
White Plains, NY 10601
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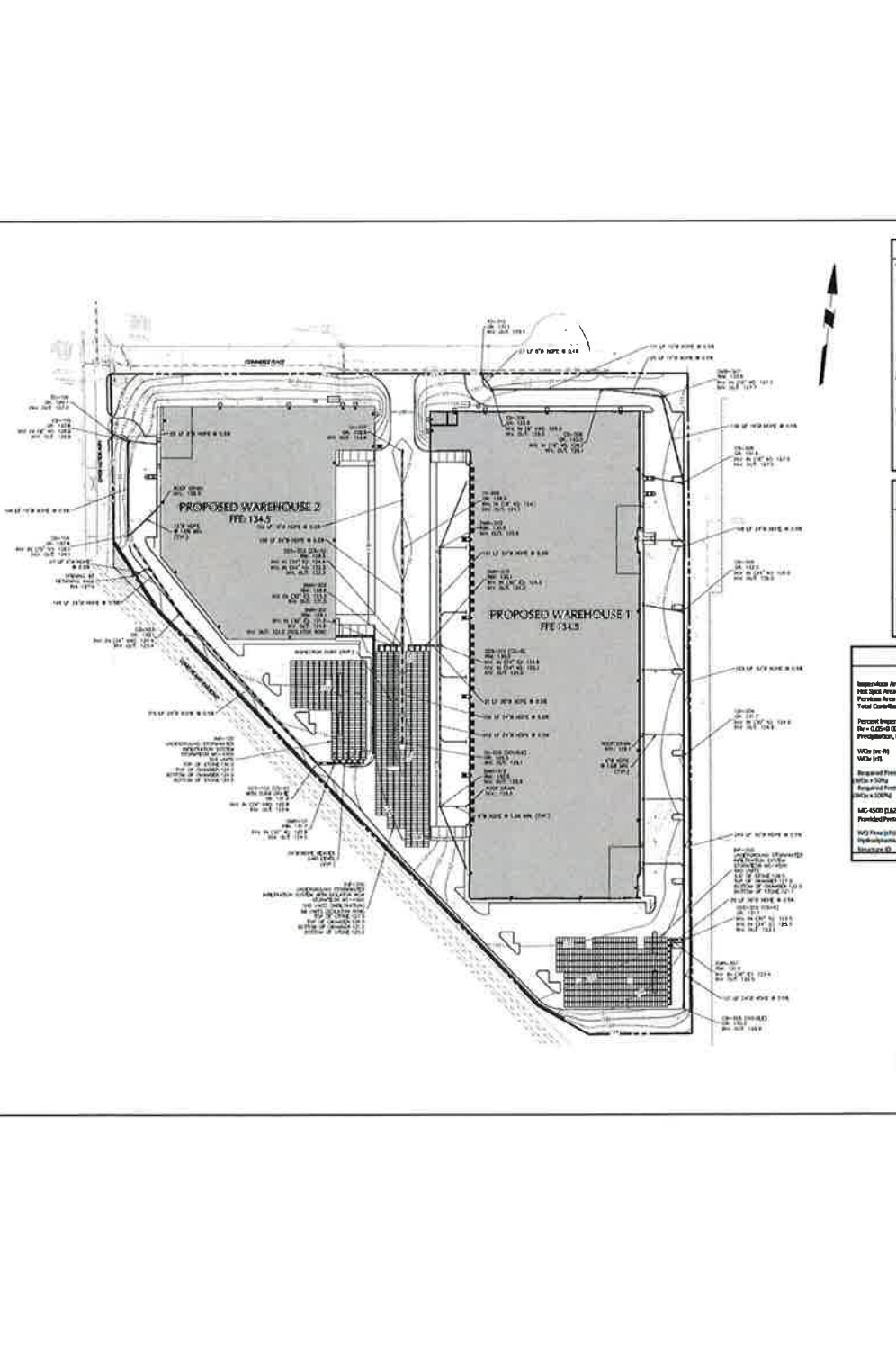
7/04/23
NASSAU LOGISTICS CENTER
SECTION No. 64, BLOCK No. 4, LOT No. 29 A-11
TOWN OF OTTERBAY
NASSAU COUNTY, NEW YORK

GRADING PLAN

Project No.	Grading No.
Date:	1/19/2024
Scale:	AS SHOWN
Author:	CG101
Checker:	JAP
Printer:	
Scale:	1" = 100'

NOBBLES IS A MEMBER OF THE SCS GROUP. SCS GROUP IS AN AFFILIATE OF CH2M HILL. CH2M HILL IS AN AFFILIATE OF BURNS & MCDONNELL. BURNS & MCDONNELL IS AN AFFILIATE OF BURNS, MCDONNELL, BAKER & TITCHELL. BURNS, MCDONNELL, BAKER & TITCHELL IS AN AFFILIATE OF BURNS, MCDONNELL, BAKER & TITCHELL.





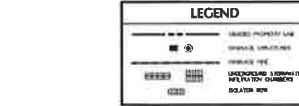
- ### DRAINAGE NOTES
- ALL DRAINAGE STRUCTURES AND SOAK AWAYS SHALL MEET HEAVY DUTY TRAFFIC (HDT) LOADS AND BE INSTALLED ACCORDINGLY.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING OPERATING UTILITY LOCATIONS, AND VERIFY THEM TO REMAIN UNCHANGED. ANY CHANGES FROM TO BE MADE FROM EXISTING SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE PROJECT DRINKER.
 - ALL CONSTRUCTION SHALL MAINTAIN THE EXISTING ADJACENT SIDEWALKS AND DRIVEWAYS TO REMAIN UNCHANGED TO THE EXTENT POSSIBLE. ANY CHANGES TO BE MADE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE PROJECT DRINKER.
 - ABBR:VEIATIONS**
BOPC - HIGH DENSITY POLYETHYLENE
PVC - PERFORATED
PVC - 12" DIAMETER
IF = LINEAR FEET
 - CONSTRUCTION SHALL VERIFY TO ANNOTATED PLANS AND DISCREPANCIES FOR EXISTING UTILITIES AND SOAK AWAYS. ANY CHANGES TO BE MADE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE PROJECT DRINKER.
 - ALL ROOF DRAIN SYSTEMS SHALL BE BROUGHT TO THE STREET OUTSIDE THE BUILDING FOOTPRINT AND SHALL BE PROVIDED WITH A TEMPORARY FLUSH AT THE END.
 - CLEANOUTS SHALL BE PROVIDED UPSTREAM AT ALL LOCATIONS OF ROOF DRAIN INTERCONNECTIONS, BONNETS, AND OPERABLE COVERS.
 - ALL PROPOSED STORM DRAINAGE PIPING SHALL BE RESPONSIBLY PROTECTED WITH SCHEDULE 40 IRON PIPE OR EQUIVALENT.
 - ALL EXISTING EXTERIOR DRAINAGE STRUCTURES ON-SITE OR OFF-SITE CAUSED BY THE CONTRACTOR'S WORK SHALL BE REMOVED OR REPAIRED BY THE CONTRACTOR. ALL DRAINAGE STRUCTURES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE AT NO COST TO THE OWNER OR THIRD PARTY.

STORMWATER STORAGE VOLUME CALCULATIONS

IMPERVIOUS AREA =	121.6 AC	PERVIOUSURE COEFFICIENT =	0.1
PERVIOUSURE AREA =	3 AC	PERVIOUSURE COEFFICIENT =	0.5
TOTAL STORAGE AREA =	118.6 AC		
STORAGE VOLUME =	600,000 GAL		

PRETREATMENT CALCULATIONS

	24 HRS PRE	48 HRS PRE	72 HRS PRE
Impervious Area (ac)	121.6	121.6	121.6
Permeous Area (ac)	3	3	3
Total Contributing Area, A (ac)	124.6	124.6	124.6
Percent Impervious, I (%)	87	87	87
R ₁ - CLUSTER COEFFICIENT	0.15	0.15	0.15
Precipitation, P (in)	1.5	1.5	1.5
WQEP (cfs-ft)	1,395	1,395	1,395
WQEP (cfs)	31,200	31,200	31,200
Required Pretreatment Volume (cfs-hr)	6,025	6,025	6,025
Required Pretreatment Volume for First Flush (cfs-hr @ 100% runoff)	-	-	-
MG4000 (24.6 x 12.6)	-	-	-
MG4000 (24.6 x 12.6)	-	-	-
MG4000 (24.6 x 12.6)	6.77	6.77	6.77
MG4000 (24.6 x 12.6)	6.77	6.77	6.77
MG4000 (24.6 x 12.6)	6.77	6.77	6.77



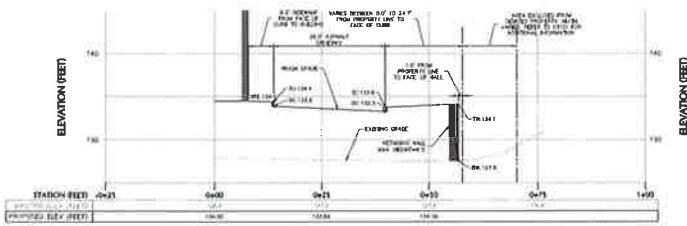
NO.	DATE	REVISIONS
1	02/21/24	GENERAL SITE PLAN PRELIMINARY
2	03/28/24	GENERAL SITE PLAN REVISIONS
3	05/23/24	REVISED GENERAL SITE PLAN
4	06/27/24	REVISED GENERAL SITE PLAN
5	07/23/24	REVISED GENERAL SITE PLAN

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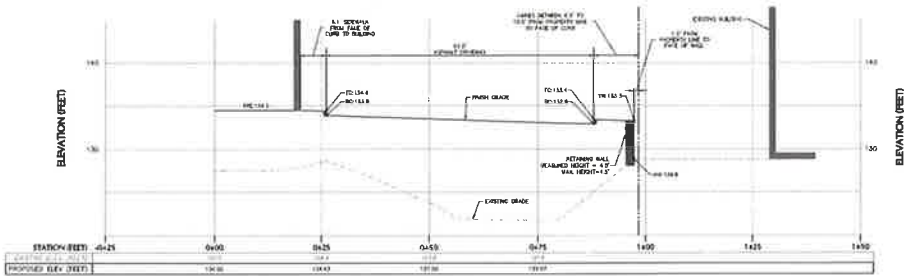
NASSAU LOGISTICS CENTER
SECTION No. 44, BLOCK No. 4, LOT No. 20 & 21
TOWN OF GREAT BAY
NASSAU COUNTY, NEW YORK

DRAINAGE PLAN

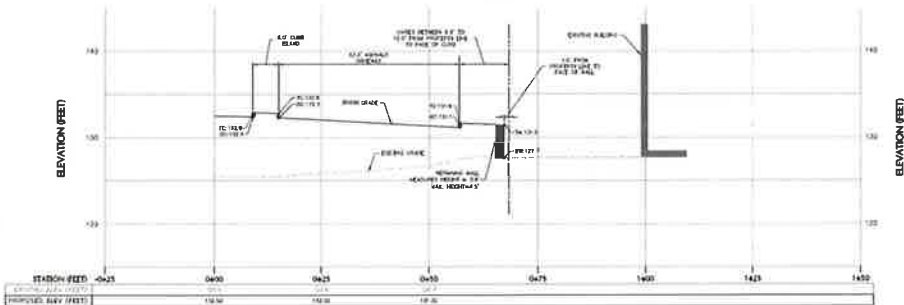
Drawn by: **CG201**
Checked by: **RPM**
Scale: **AS SHOWN**



SITE PROFILE A-A'
 SCALE: H: 1"=10'
 V: 1"=5'



SITE PROFILE B-B'
 SCALE: H: 1"=10'
 V: 1"=5'



SITE PROFILE C-C'
 SCALE: H: 1"=10'
 V: 1"=5'

07/27/22	REVISION SITE PLAN REVISIONS	1
07/27/22	REVISION SITE PLAN REVISIONS	2
06/02/22	REV PER PLAN COMMENTS	3
05/02/22	REVISION SITE PLAN REVISIONS	4

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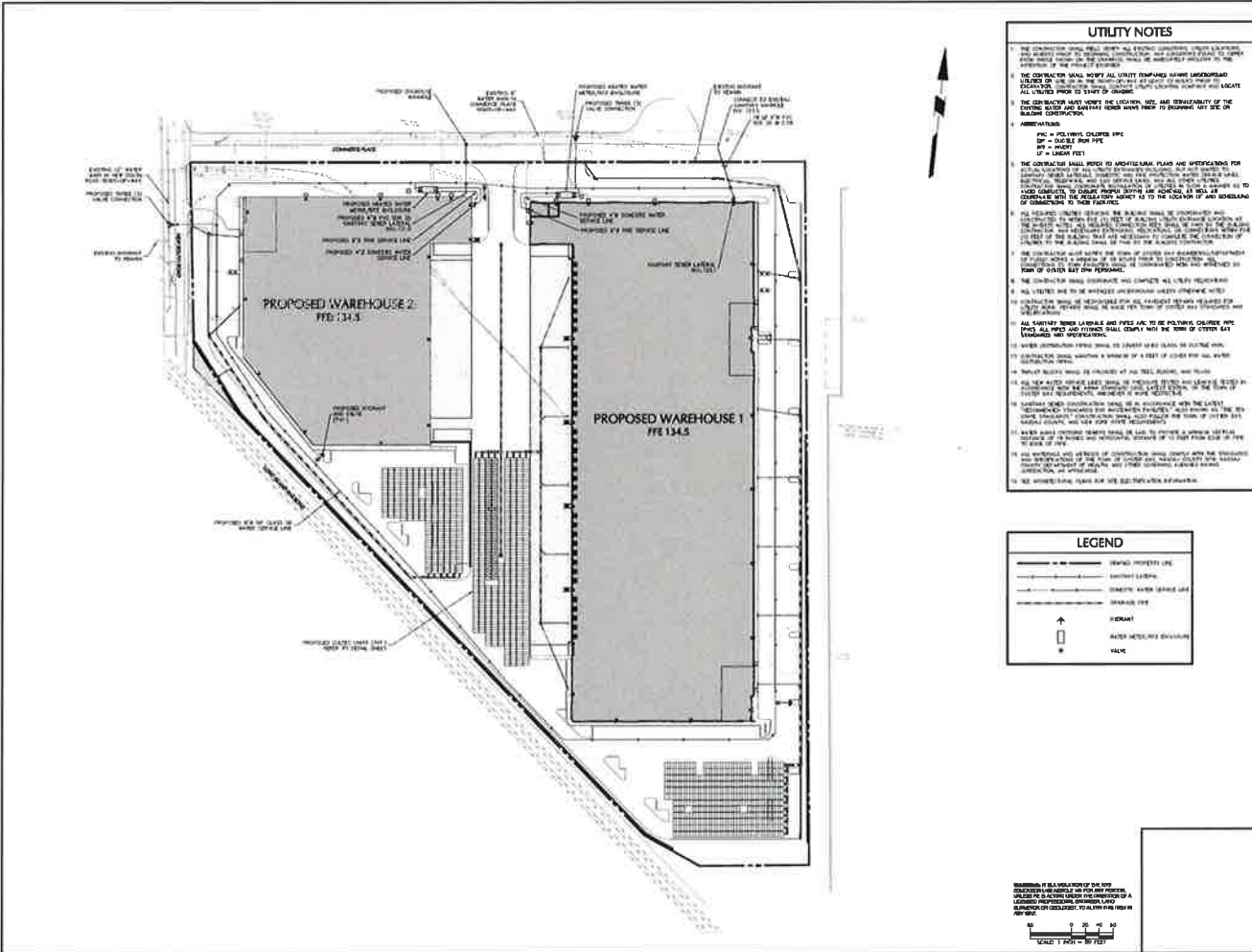
TOWN OF
NASSAU LOGISTICS CENTER
 SECTION No. 46, BLOCK No. 14, LOT No. 30 & 31
 TOWN OF CRISTINA BAY
 NASSAU COUNTY NEW YORK

SITE PROFILES

Project No.	CG301
Sheet No.	CG301
Scale	1"=10'
Drawn by	[Signature]
Checked by	[Signature]
Date	08/01/22

Sheet 2 of 17

REVISIONS SHALL INDICATE BY THE USE OF A DASH OR AN ARROW TO THE ORIGINAL DRAWING. REVISIONS SHALL BE MADE BY THE ORIGINAL DESIGNER OR A LICENSED PROFESSIONAL ENGINEER, ARCHITECT OR SURVEYOR. REVISIONS SHALL BE MADE BY THE ORIGINAL DESIGNER OR A LICENSED PROFESSIONAL ENGINEER, ARCHITECT OR SURVEYOR.



UTILITY NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, THEIR DEPTHS, AND RIGHTS AND RECORDS, INCLUDING ANY RECORDS THAT TO DATE HAVE BEEN MADE OF THE UTILITIES THAT BE IDENTIFIED PRIOR TO THE BEGINNING OF THE PROJECT PERIOD.
2. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AS WELL AS THE STATE OF FLORIDA OF THE PROJECT AND THE LOCATION OF ALL UTILITIES TO BE LOCATED ALL UTILITIES PRIOR TO START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION, USE AND RESPONSIBILITY OF THE EXISTING GAS AND SANITARY LINES PRIOR TO BEGINNING ANY USE OF EXISTING UTILITIES.
4. ABBREVIATIONS:
PVC = POLYVINYL CHLORIDE PIPE
DIP = DUCTILE IRON PIPE
LF = LEADEN PIPE
5. THE CONTRACTOR SHALL VERIFY TO APPLICABLE PLANS AND SPECIFICATIONS FOR THE LOCATION OF ALL UTILITIES, INCLUDING ANY RECORDS THAT TO DATE HAVE BEEN MADE OF THE UTILITIES THAT BE IDENTIFIED PRIOR TO THE BEGINNING OF THE PROJECT PERIOD.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION, USE AND RESPONSIBILITY OF THE EXISTING GAS AND SANITARY LINES PRIOR TO BEGINNING ANY USE OF EXISTING UTILITIES.
7. THE CONTRACTOR SHALL VERIFY THE LOCATION, USE AND RESPONSIBILITY OF THE EXISTING GAS AND SANITARY LINES PRIOR TO BEGINNING ANY USE OF EXISTING UTILITIES.
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20. THE CONTRACTOR SHALL VERIFY THE LOCATION, USE AND RESPONSIBILITY OF THE EXISTING GAS AND SANITARY LINES PRIOR TO BEGINNING ANY USE OF EXISTING UTILITIES.

LEGEND



01/27/22	LOT AREA	1
01/27/22	GENERAL SITE PLAN REVISION	1
07/19/21	GENERAL SITE PLAN REVISION	1
06/09/21	REV. PER EIR COMMENTS	1
03/02/21	GENERAL SITE PLAN REVISION	1

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NASSAU LOGISTICS CENTER
REVISION No. 46, BLOCK No. 14, LOT No. 38 & 39
TOWN OF CRYSTAL BAY
NASSAU COUNTY FLORIDA

UTILITY PLAN

Project No: 19040000
Drawing No: CU101
Sheet No: 1 of 1
Scale: 1" = 40'

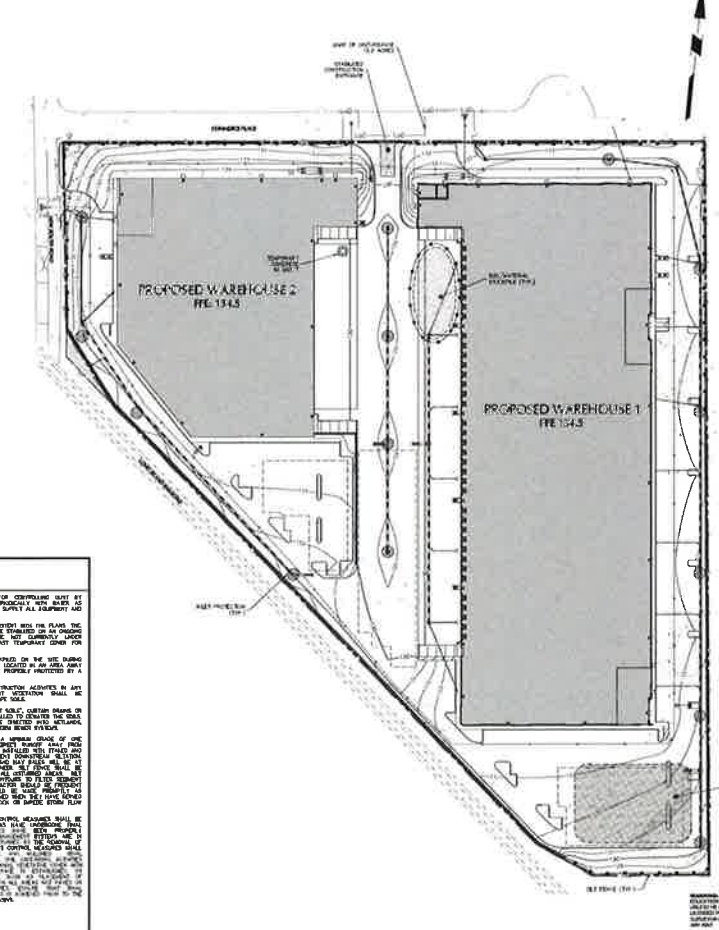


POLLUTION PREVENTION CONTROL NOTES

1. ALL POLLUTION PREVENTION MEASURES ARE TO BE IN ACCORDANCE WITH THE NASSAU COUNTY POLLUTION PREVENTION REGULATIONS AND THE NASSAU COUNTY POLLUTION PREVENTION REGULATIONS.
2. POLLUTION PREVENTION MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
3. THE USE OF MATERIALS FOR LARGE-SCALE (E.G., WINDING, DRAGGING, PAVING) OPERATIONS SHALL BE LIMITED TO THE CONSTRUCTION PERIOD.
4. MATERIAL STORAGE LOCATIONS AND FACILITIES (E.G., COVERED STORAGE AREAS, STORAGE YARDS) SHALL BE LOCATED ON-OR OFF-SITE AND SHALL BE STORED SEPARATELY FROM THE CONSTRUCTION AREA AND SHALL BE STORED SEPARATELY FROM THE CONSTRUCTION AREA.
5. SPILLAGE SHALL BE IMMEDIATELY CLEANED UP TO PREVENT SUCH SPILLAGE FROM ENTERING ANY WATERWAY OR FROM BEING TRANSPORTED TO ANY WATERWAY BY WIND OR WATER.
6. SPILLAGE SHALL BE IMMEDIATELY CLEANED UP TO PREVENT SUCH SPILLAGE FROM ENTERING ANY WATERWAY OR FROM BEING TRANSPORTED TO ANY WATERWAY BY WIND OR WATER.
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11. SPILLAGE SHALL BE IMMEDIATELY CLEANED UP TO PREVENT SUCH SPILLAGE FROM ENTERING ANY WATERWAY OR FROM BEING TRANSPORTED TO ANY WATERWAY BY WIND OR WATER.

EROSION & SEDIMENT CONTROL NOTES

1. REFER TO THE NASSAU COUNTY POLLUTION PREVENTION REGULATIONS FOR ADDITIONAL REQUIREMENTS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN ACCORDANCE WITH THE NASSAU COUNTY POLLUTION PREVENTION REGULATIONS AND THE NASSAU COUNTY POLLUTION PREVENTION REGULATIONS.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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11. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.



LEGEND

(Symbol)	EXISTING PROPERTY LINE
(Symbol)	NEW FENCE
(Symbol)	LINE OF INTERFERENCE
(Symbol)	NEW DRIVEWAY
(Symbol)	WATER COLLECTION SYSTEM
(Symbol)	EXISTING DRIVEWAY
(Symbol)	EXISTING DRIVEWAY

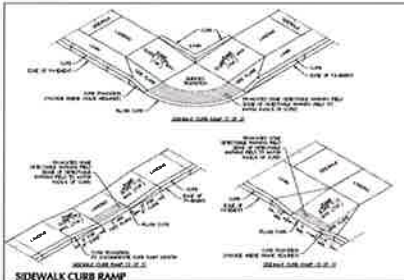
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07/27/01	GENERAL SITE PLAN REVISIONS	B
07/27/01	GENERAL SITE PLAN REVISIONS	C
07/27/01	GENERAL SITE PLAN REVISIONS	D

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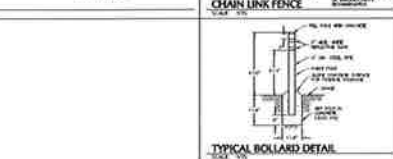
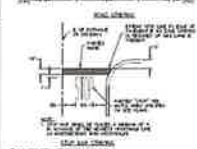
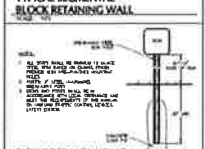
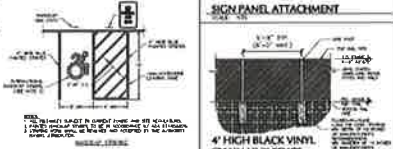
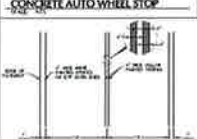
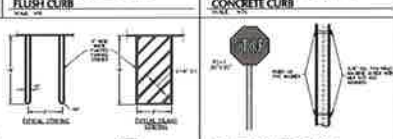
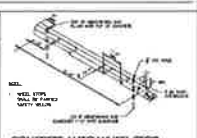
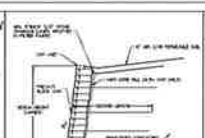
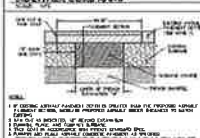
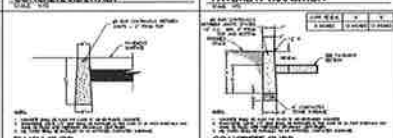
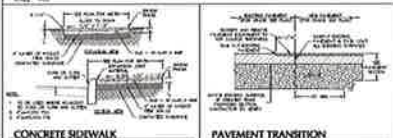
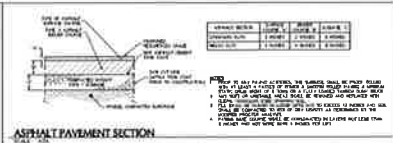
NASSAU LOGISTICS CENTER
 SECTION No. 46, BLOCK No. 14, LOT No. 38 & 39
 TOWN OF OVERTON, FL

EROSION & SEDIMENT CONTROL PLAN

Project No: [blank] Drawing No: [blank]
 Date: [blank] Prepared by: [blank]
 Scale: [blank] Checked by: [blank]
 Title: **CE101**



- ASPHALT CURB RAMP**
1. CURB SHALL BE CONCRETE AT THE TOP OF CURB CURVE
 2. CURB SHALL BE CONCRETE THROUGHOUT THE ENTIRE CURVE
 3. CURB SHALL BE CONCRETE THROUGHOUT THE ENTIRE CURVE
 4. CURB SHALL BE CONCRETE THROUGHOUT THE ENTIRE CURVE
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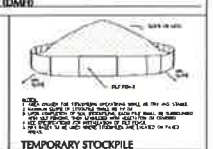
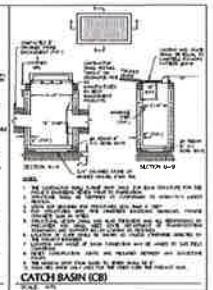
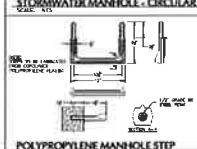
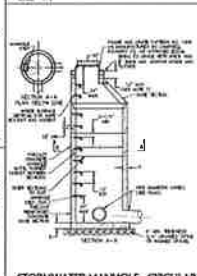
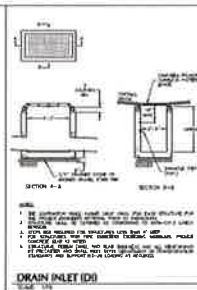
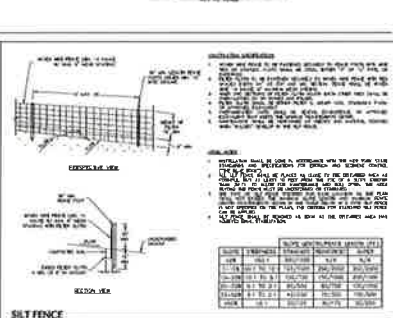
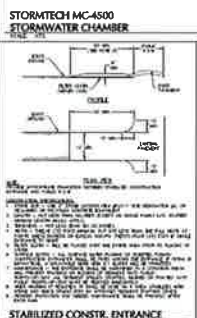
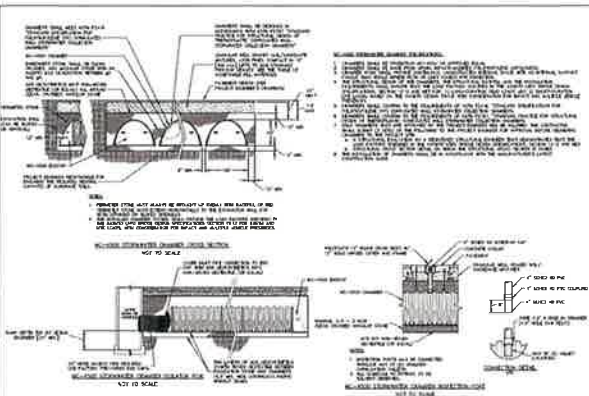
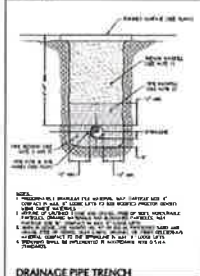
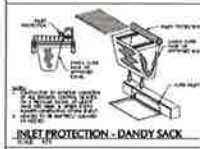
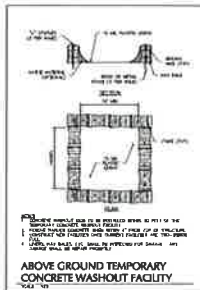


DATE	DESCRIPTION	BY
07/21/13	GENERAL SITE PLAN REVISION	
11/14/13	GENERAL SITE PLAN REVISION	
10/22/13	SEC PER TOWN COMMENTS	
08/28/13	GENERAL SITE PLAN REVISION	

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NASSAU LOGISTICS CENTER
 SECTION No. 04, BLOCK No. 04, LOT No. 30 & 31
 TOWN OF Oyster Bay
 HAMPSHIRE COUNTY, NEW YORK
 SHEET No. CS501

REVISIONS TO A PLAN OF THE SITE
 PREPARED BY AN ARCHITECT OR A PROFESSIONAL
 ENGINEER OR LANDSCAPE ARCHITECT OR A
 LICENSED PROFESSIONAL ENGINEER, LAND
 SURVEYOR OR SURVEYOR IN THE STATE OF
 NEW YORK



07/27/22	GENERAL SITE PLAN REVISIONS	4
11/19/21	GENERAL SITE PLAN REVISIONS	3
10/29/21	REV. PER PERM COMMENTS	2
08/02/20	GENERAL SITE PLAN REVISIONS	1

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White Plains, NY 10610
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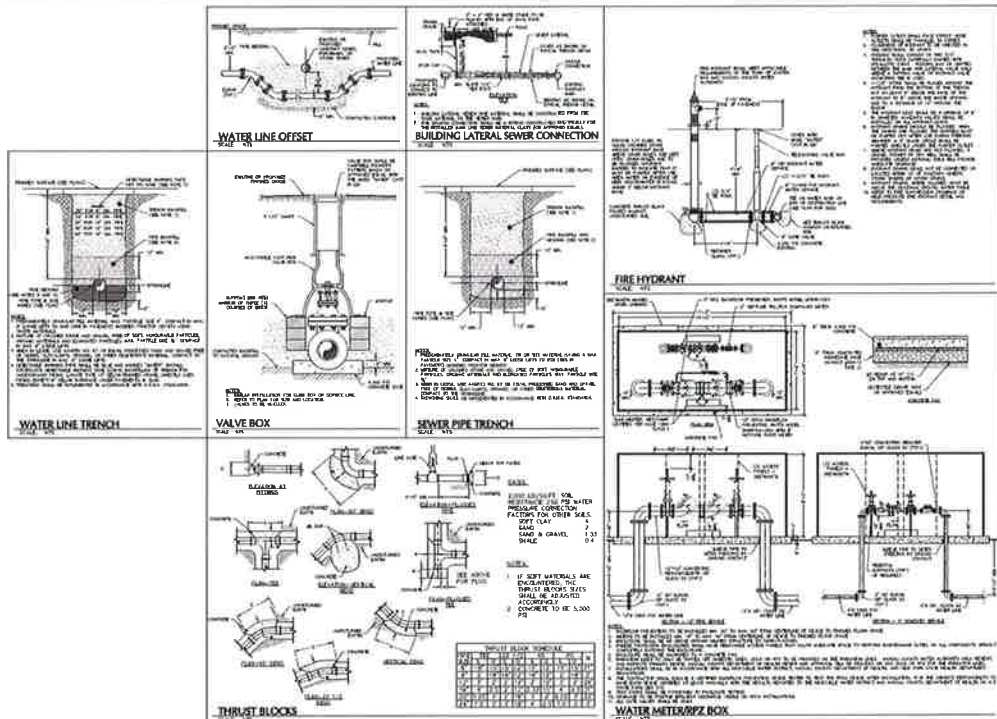
PROJECT
NASSAU LOGISTICS CENTER
SECTION No. 44, BLOCK No. 14, LOT No. 28 & 31
TOWN OF OYSTER BAY
NASSAU COUNTY, NEW YORK
Drawing Title:

DETAILS (2 OF 3)

Project No: 199800001
Sheet No: 000000001
Issue No: 0000
Checked By: CSJ
Date: 07/27/22

CS502

WARNING: THIS IS A PRELIMINARY DESIGN. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



01/27/22	GENERAL SITE PLAN REVISION	1
11/17/21	GENERAL SITE PLAN REVISION	2
10/22/21	REV. PER TOWN COMMENTS	2
08/27/21	GENERAL SITE PLAN REVISION	1

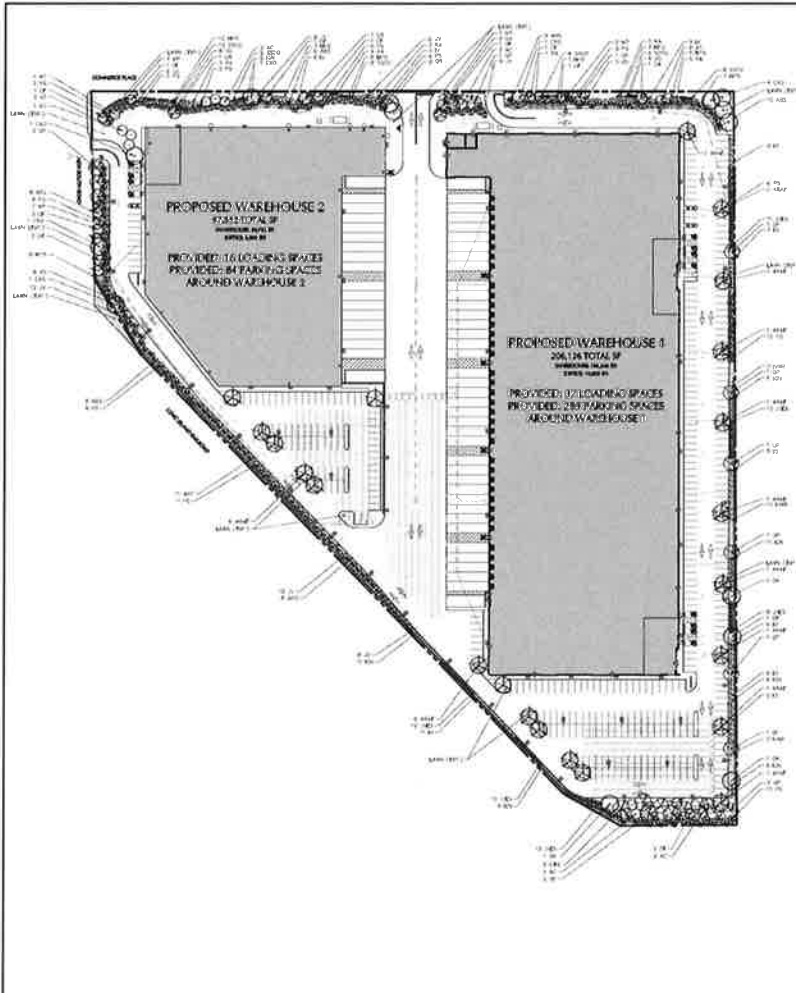
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TOWN OF
NASSAU LOGISTICS CENTER
SECTION No. 46, BLOCK No. 14, LOT No. 28 & 31
TOWN OF WESTBAY
NASSAU COUNTY, NEW YORK

DETAILS (3 OF 3)

Project No.	1804040	Drawing No.	CS503
Date	08/20/21	Drawn By	JAH
Checked By	JAH	Scale	1/4" = 1'-0"
Drawn By	JAH	Sheet	12 of 12

REVISIONS TO BE MADE BY THE CONTRACTOR TO BE SHOWN ON THE DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



NO.	QTY	ITEM NAME	COMMON NAME	DETAILS	ADDITIONAL	REMARKS
1	1	ASPHALT DRIVE	ASPHALT DRIVE	1" DIA. 10' WIDE	100	
2	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
3	1	GRAVEL DRIVE	GRAVEL DRIVE	1" DIA. 10' WIDE	100	
4	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
5	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
6	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
7	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
8	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
9	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
10	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
11	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
12	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
13	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
14	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
15	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
16	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
17	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
18	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
19	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
20	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
21	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
22	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
23	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
24	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
25	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
26	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
27	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
28	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
29	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
30	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
31	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
32	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
33	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
34	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
35	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
36	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
37	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
38	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
39	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
40	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
41	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
42	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
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44	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
45	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
46	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
47	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
48	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
49	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	
50	1	CONCRETE DRIVE	CONCRETE DRIVE	1" DIA. 10' WIDE	100	

1. ALL PLANTING SHALL BE INSTALLED WITHIN THE SPECIFIED TIME FRAME AND SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL PLANTING THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY PLANTING THAT IS DAMAGED OR DESTROYED DURING THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL PLANTING THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY PLANTING THAT IS DAMAGED OR DESTROYED DURING THE PROJECT.

SECTION	REQUIREMENT	COMPLIANCE	COMMENTS
1.0	ALL PLANTING SHALL BE INSTALLED WITHIN THE SPECIFIED TIME FRAME AND SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT THE PROJECT.	COMPLIANT	
2.0	THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL PLANTING THROUGHOUT THE PROJECT.	COMPLIANT	
3.0	THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY PLANTING THAT IS DAMAGED OR DESTROYED DURING THE PROJECT.	COMPLIANT	

01/17/23	GENERAL SITE PLAN REVISIONS	1
11/14/23	REVISION SITE PLAN REVISIONS	2
11/14/23	REV. PER STAFF COMMENTS	3
01/17/23	GENERAL SITE PLAN REVISIONS	1

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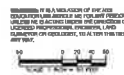
TOWN

NASSAU LOGISTICS CENTER

SECTION No. 46, BLOCK No. 14, LOT No. 30A & 31
TOWN OF ORTHER SAT
SARATOGA COUNTY

PLANTING PLAN

Sheet No.	17000000	Sheet No.	
Date	11/14/23	Scale	1" = 10'
Drawn By	ML	Project No.	LP101
Checked By	ML	Sheet No.	13 of 18



SHADE TREE(S)



ACER RUBRUM 'SPARTAN PLUME'
Spartan Flame Red Maple



CELTIS OCCIDENTALIS
Nubia



LIQUIDAMBAR STYRACIFLUA 'WINGED'
Winged Star Magnolia



QUERCUS RUBRA
Bottle Oak



THUJA OCCIDENTALIS
Pyramidalis



GLEDITSIA NANA
Red Oak

UNDERSTORY TREE(S)



MAGNOLIA GRANDIFLORA
Magnolia Grandiflora



CORNUS FLORIDA
Flamingo

EVERGREEN TREE(S)



NISUS SYLVATICA
Sylvatica



TAXUS CANADENSIS
Canadensis



JUNIPERUS HORIZONTALIS
Leylandii



JUNIPERUS HORIZONTALIS
Dartmouth



PINUS STROBUS
Canton

EVERGREEN SHRUB(S)



NISUS SYLVATICA
Nisus



NISUS SYLVATICA
Nisus



AMELANCHIER FLORIDA
Flamingo



PIERIS JAPONICA
Pieris



NISUS SYLVATICA
Nisus



NISUS SYLVATICA
Nisus



NISUS SYLVATICA
Nisus

DECIDUOUS SHRUB(S)

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01/20/22	REVISIONAL SITE PLAN REVISIONS	1
11/19/21	REVISIONAL SITE PLAN REVISIONS	3
11/22/21	REV. PER TOWN COMMENTS	2
08/18/21	REVISIONAL SITE PLAN REVISIONS	1

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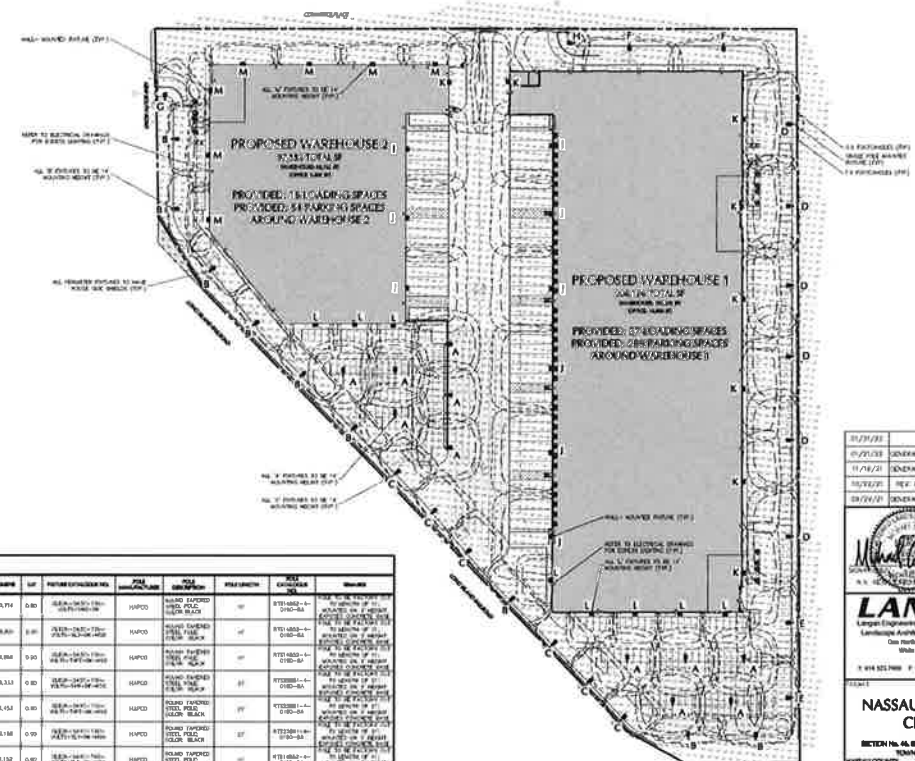
PROJECT
NASSAU LOGISTICS CENTER
SECTION No. 46, BLOCK No. 14, LOT No. 28 & 27
TOWN OF CREEK BAY

PLANTING IMAGES

DATE: 11/22/21
SCALE: 1/2" = 1'-0"
SHEET: 15 OF 27

PROJECT FILE NUMBER

PROJECT NO. 17-00000



STATISTICS					
DESCRIPTION	NO.	AREA	PERCENT	PERCENT	PERCENT
TOTAL AREA	100	100.00	100.00	100.00	100.00
WAREHOUSE 1	1	204,174	100.00	100.00	100.00
WAREHOUSE 2	1	104,174	100.00	100.00	100.00
TOTAL	2	308,348	100.00	100.00	100.00

SITE LIGHTING SCHEDULE															
SYMBOL	REF	QTY	FIXTURE MAKE/MODEL	FIXTURE DESCRIPTION	WATTAGE	VOLTS	AMPS	WATTAGE	WATTAGE	WATTAGE	WATTAGE	WATTAGE	WATTAGE	WATTAGE	WATTAGE
H-1	A	1	COOPER LIGHTING	GALLEN LED	140W	120V	1.17	140W	140W	140W	140W	140W	140W	140W	140W
H-2	B	1	COOPER LIGHTING	GALLEN LED	140W	120V	1.17	140W	140W	140W	140W	140W	140W	140W	140W
H-3	C	1	COOPER LIGHTING	GALLEN LED	140W	120V	1.17	140W	140W	140W	140W	140W	140W	140W	140W
H-4	D	1	COOPER LIGHTING	GALLEN LED	140W	120V	1.17	140W	140W	140W	140W	140W	140W	140W	140W
H-5	E	1	COOPER LIGHTING	GALLEN LED	140W	120V	1.17	140W	140W	140W	140W	140W	140W	140W	140W
H-6	F	1	COOPER LIGHTING	GALLEN LED	140W	120V	1.17	140W	140W	140W	140W	140W	140W	140W	140W
H-7	G	1	COOPER LIGHTING	GALLEN LED	140W	120V	1.17	140W	140W	140W	140W	140W	140W	140W	140W
H-8	H	1	COOPER LIGHTING	GALLEN LED	140W	120V	1.17	140W	140W	140W	140W	140W	140W	140W	140W
H-9	I	1	COOPER LIGHTING	GALLEN LED	140W	120V	1.17	140W	140W	140W	140W	140W	140W	140W	140W
H-10	J	1	COOPER LIGHTING	GALLEN LED	140W	120V	1.17	140W	140W	140W	140W	140W	140W	140W	140W
H-11	K	1	COOPER LIGHTING	GALLEN LED	140W	120V	1.17	140W	140W	140W	140W	140W	140W	140W	140W
H-12	L	1	COOPER LIGHTING	GALLEN LED	140W	120V	1.17	140W	140W	140W	140W	140W	140W	140W	140W
H-13	M	1	COOPER LIGHTING	GALLEN LED	140W	120V	1.17	140W	140W	140W	140W	140W	140W	140W	140W

01/17/23	LOG AREA	0
01/17/23	GENERAL SITE PLAN REVISIONS	4
01/17/23	GENERAL SITE PLAN REVISIONS	4
01/17/23	REV. PER TOWN COMMENTS	2
01/17/23	GENERAL SITE PLAN REVISIONS	0

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NASSAU LOGISTICS CENTER
SECTION NO. 46, BLOCK NO. LOT NO. 20 & 31
NASSAU COUNTY, FLORIDA
TOWN OF OVERTON BAY

SITE LIGHTING PLAN

DATE: 01/17/23
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: AS SHOWN

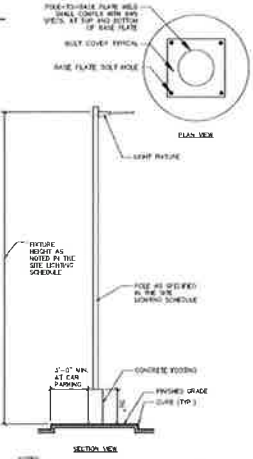
LL101

SEE SHEET LL-501 FOR LIGHTING NOTES AND DETAILS

SEE SHEET LL-501 FOR LIGHTING NOTES AND DETAILS

SITE LIGHTING NOTES:

- GENERAL**
- POINT-TO-POINT CALCULATIONS PROVIDED HEREIN HAVE BEEN PREPARED IN ACCORDANCE TO IESNA STANDARDS AND IN CONSIDERATION OF THE VARIABLES WITHIN THESE NOTES AND SITE LIGHTING SCHEDULE. THE VALUES SHOWN ON THE PLANS ARE NOT AN INDICATION OF THE INTEND LIGHT INTENSITIES OF THE LAMP. THESE VALUES ARE AN APPROXIMATION OF THE MAINTAINED INTENSITY DELIVERED TO THE GROUND PLANE USING INDUSTRY STANDARD LIGHT LOSS FACTORS (LLF), WHICH COVER LAMP DEGRADATION AND NATURAL WEAR/TEAR DEGRADATION ON THE FIXTURE LEVY. THE LIGHTING PLAN IS DESIGNED WITH AN ASSUMED WEAR/TEAR IN ACCORDANCE WITH INDUSTRY STANDARDS. LIGHT LOSS FACTORS VARY WIDELY IN DEPENDENCE ON THE MAINTENANCE SCHEDULES. THE MAINTENANCE SCHEDULES SHOULD BE DETERMINED BY THE USER. THESE CALCULATIONS HAVE BEEN PREPARED USING THE ASSUMED MAINTENANCE SCHEDULES. MAINTENANCE SCHEDULES SHOULD BE DETERMINED BY THE USER. THESE CALCULATIONS HAVE BEEN PREPARED USING THE ASSUMED MAINTENANCE SCHEDULES.
 - LIGHT LEVEL POINT SPACING IS 20 FT LEFT TO RIGHT AND 20 FT BOTTOM. POINT TO POINT CALCULATIONS ARE BASED ON THE LIGHT LOSS FACTOR AS STATED IN THE LIGHTING SCHEDULE.
- COMPLIANCE**
- ALL SITE LIGHTING RELATED WORK AND MATERIALS SHALL COMPLY WITH CITY, COUNTY AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
 - LIGHTING LAYOUT COMPLIES WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) SAFETY STANDARDS FOR LIGHT LEVELS.
- COORDINATION**
- CONTRACTOR TO COORDINATE POWER SOURCE WITH LIGHT FIXTURES TO ENSURE ALL SITE LIGHTING IS OPERATING EFFICIENTLY AND SAFELY.
 - REFER TO ELECTRIFICATION PLANS FOR PRELIMINARY SCHEDULES FOR LIGHTING.
 - CONTRACTOR TO COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE DESIGNS WITH LIGHT FIXTURES.
 - INSTALLATION OF ALL LIGHTING FIXTURES, POLES, FOOTINGS AND FEEDER CABLE TO BE COORDINATED WITH ALL SITE WORK TRADES TO AVOID CONFLICT WITH EXISTING AND PROPOSED WORK.
 - CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND FEEDER CABLE FOR EXTERIOR LIGHTING WITH EXISTING AND PROPOSED UTILITIES, SITE DRAINAGE SYSTEMS, AND TRADING. CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE SHOULD ANY UTILITIES, NOT SHOWN ON THE PLANS, BE FOUND DURING EXCAVATIONS.
- POLES AND FOOTINGS**
- PROVIDE A CONCRETE BASE FOR EACH LIGHT POLE AT THE LOCATIONS INDICATED ON THE EXCAVATION DRAWINGS. THE BASE SHALL BE 24" DIAMETER AND 36" DEEP. THE BASE SHALL BE 4" BELOW FINISH GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY FORMWORK AND SHORING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY FORMWORK AND SHORING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY FORMWORK AND SHORING.
 - CONTRACTOR SHALL EXAMINE AND VERIFY THAT JOB CONDITIONS ARE SUITABLE TO SUPPORT LOADS LISTED FROM THE FOUNDATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY UNUSUAL CONDITIONS.
 - ALL FOUNDATIONS SHALL BE 18" BELOW FINISH GRADE UNLESS OTHERWISE NOTED. ALL FOUNDATIONS SHALL BE 18" BELOW FINISH GRADE UNLESS OTHERWISE NOTED.
 - ALL FOUNDATIONS SHALL BE 18" BELOW FINISH GRADE UNLESS OTHERWISE NOTED. ALL FOUNDATIONS SHALL BE 18" BELOW FINISH GRADE UNLESS OTHERWISE NOTED.



McGraw-Edison CLEVER Ballroom Area Light Fixture

Product Features: Clear Lens, 150W, 270° Beam Angle, 4000K, 24" Dia.

McGraw-Edison GFC Clear Polestar Compact Area Light Fixture

Product Features: Clear Lens, 150W, 270° Beam Angle, 4000K, 18" Dia.

RTS

ITEM NO.	DESCRIPTION	QUANTITY
1	General Site Pole	1
2	Area Light Pole Type A	1
3	Area Light Pole Type B	1
4	Area Light Pole Type C	1
5	Area Light Pole Type D	1
6	Area Light Pole Type E	1
7	Area Light Pole Type F	1
8	Area Light Pole Type G	1
9	Area Light Pole Type H	1

WALL MOUNTED FIXTURES

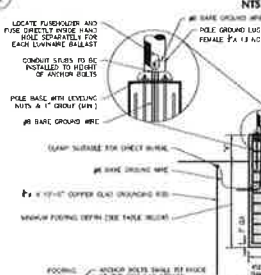
- CONTRACTOR TO COORDINATE INSTALLATION OF ALL WALL MOUNTED FIXTURES AND ELECTRICAL CONNECTIONS TO THE STRUCTURES WITH BUILDING ARCHITECT AND OWNER.
 - INSTALLATION AND ELECTRICAL CONNECTIONS FOR WALL MOUNTED FIXTURES TO BE COORDINATED WITH ARCHITECTURE, STRUCTURE, UTILITY AND THE PLANS AND TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES.
- ADJUSTMENT AND OPERATION**
- CONTRACTOR TO OPERATE EACH LUMINAIRE AFTER INSTALLATION AND CONNECTION INSPECT FOR PROPER CONNECTIONS AND OPERATION.
 - CONTRACTOR TO ADJ. AND ADJUST ALL LUMINAIRES TO PROVIDE ILLUMINATION LEVELS AND DISTRIBUTION AS INDICATED ON THE CONSTRUCTION DRAWINGS OR AS CREDITED BY THE PROJECT ARCHITECT AND/OR OWNER.
 - CONTRACTOR TO CONFIRM THAT LIGHT FIXTURES, TILT ANGLE AND AIMED MATCH SPECIFICATIONS ON THE PLANS.

REQUIREMENTS FOR ALL FIXTURES

- ALL LIGHTING SUBSTITUTION MUST BE MADE WITHIN 14 DAYS PRIOR TO THE BID DATE TO PROVIDE AMPLIFIED FOR REVIEW AND TO ISSUE AN ADDENDUM INCORPORATING THE SUBSTITUTION WITH THE FOLLOWING INFORMATION:
- ANY SUBSTITUTION TO LIGHTING FIXTURES SHALL BE APPROVED BY THE OWNER, PROJECT ARCHITECT AND DESIGNER. ANY COST ASSOCIATED WITH REVISIONS SHALL BE APPROVED BY THE CONTRACTOR.
- CONTRACTOR SHALL SUBMIT A DETAILED PROPOSED LAYOUT OF THE PROPOSED LIGHTING AREA WHICH INDICATES, BY REFERENCING THE EXISTING RECORDING:

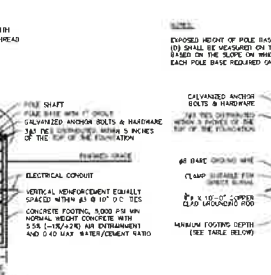


LIGHT FIXTURE AND POLE

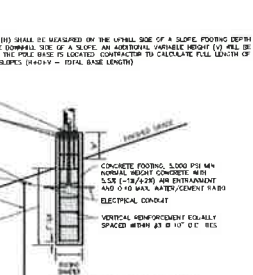


LIGHT POLE BASE

AREA LIGHT FIXTURE TYPE A, B, C, D, E, F, G, H, J, AND K NTS



AREA LIGHT FIXTURE TYPE L AND M NTS



AREA LIGHT POLE TYPE A, B, C, D, E, F, G, H NTS



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NASSAU LOGISTICS CENTER

SHEET NO. LL001 OF 12
DATE: 11/11/2024

SITE LIGHTING NOTES & DETAILS

PROJECT NO. 240001
DATE: 11/11/24

SCALE: AS SHOWN

DATE: 11/11/24

BY: [Signature]

CHKD BY: [Signature]

APP'D BY: [Signature]

DATE: 11/11/24

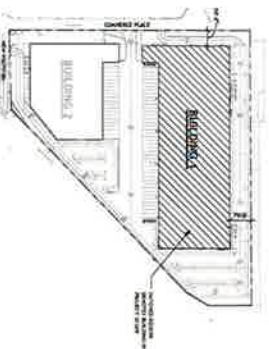
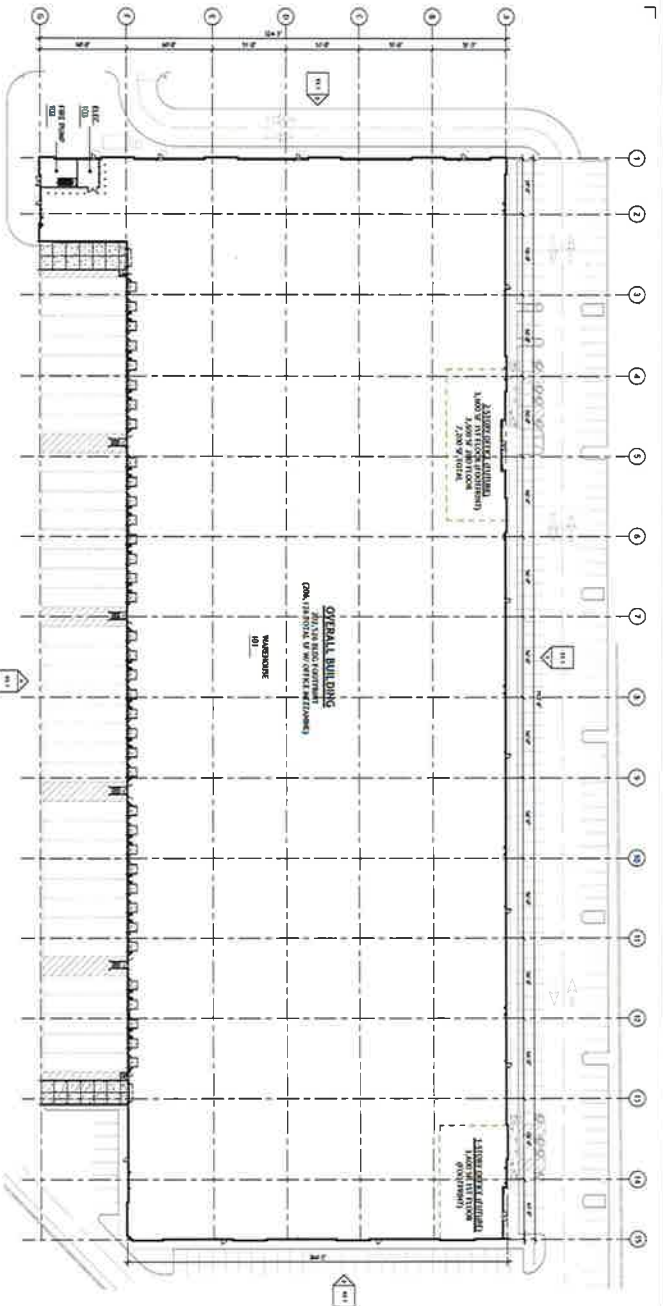
SEE SHEET LL-101 FOR LIGHTING SCHEDULE AND STATISTICS

NASSAU LOGISTICS CENTER - BUILDING 1

125 NEW SOUTH ROAD

DATE: 02/11/2016
 TIME: 10:00 AM
 PROJECT: NASSAU LOGISTICS CENTER - BUILDING 1
 DRAWING: FLOOR PLAN

1 FLOOR PLAN BUILDING 1
 1" = 3/8"

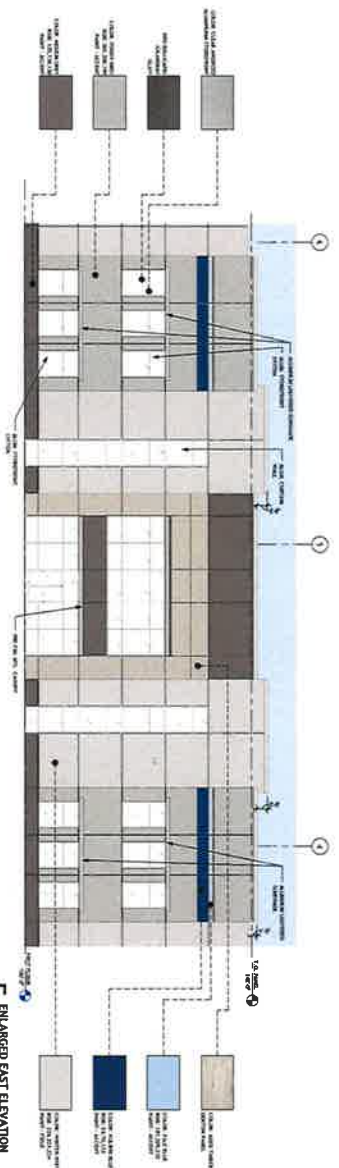


2 KEY PLAN
 1/8" = 1'

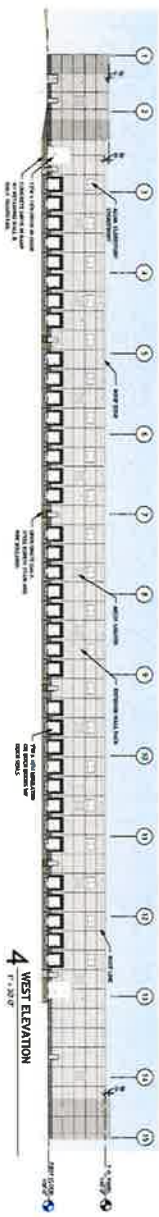
NOTES:
 1. THE SHOWN AREA IS SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY.
 2. THE SHOWN AREA IS SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY.
 3. THE SHOWN AREA IS SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY.

DATE:	02/11/2016
BY:	JMM
CHECKED BY:	JMM
SCALE:	1/8" = 1'
PROJECT:	NASSAU LOGISTICS CENTER - BUILDING 1
DRAWING:	FLOOR PLAN

X2.1



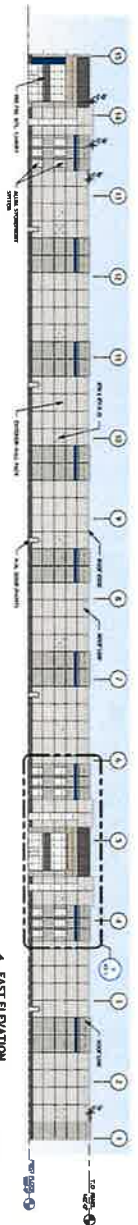
5 ENLARGED EAST ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"

M+H
ARCHITECTS
125 NEW SOUTH ROAD
SUITE 200
WEST PALM BEACH, FL 33411
TEL: 561.833.8800
WWW.MHARCHITECTS.COM

NASSAU LOGISTICS CENTER - BUILDING 1
125 NEW SOUTH ROAD
WEST PALM BEACH, FL 33411

DATE: 08/11/2011
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: AS SHOWN

X3.1
ELEVATIONS

**NASSAU LOGISTICS
 CENTER - BUILDING 2**

125 NEW SOUTH ROAD
 DENVER, COLORADO 80202

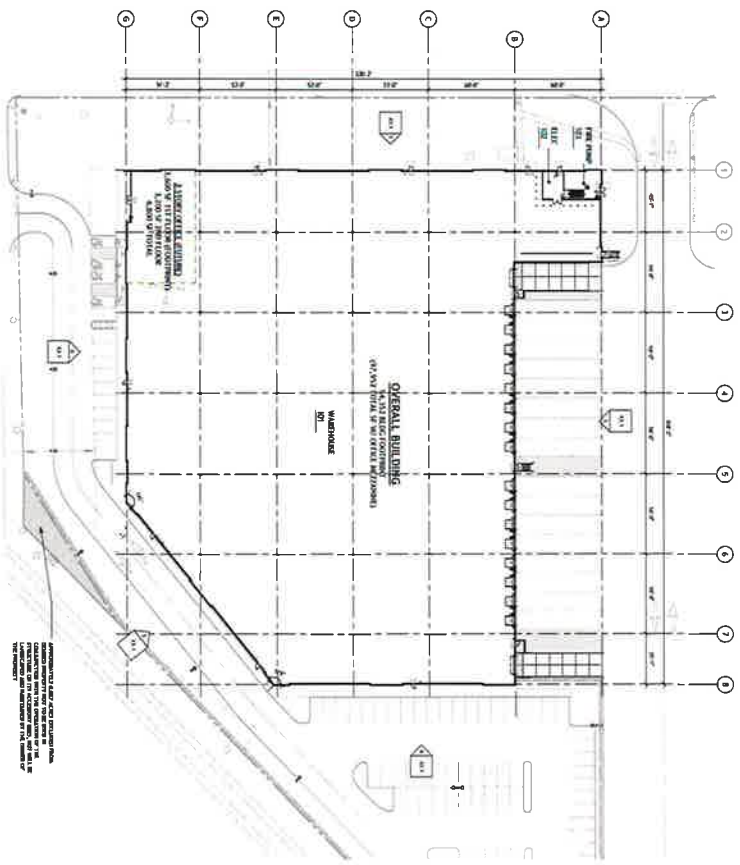
DATE: 11/11/10
 PROJECT: NASSAU LOGISTICS CENTER
 SHEET: 200

10/11/10
 THE ARCHITECTS ASSUME NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN, NOR FOR THE COMPLETION OF THE PROJECT. THE ARCHITECTS SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS. THE ARCHITECTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN, NOR FOR THE COMPLETION OF THE PROJECT. THE ARCHITECTS SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS.

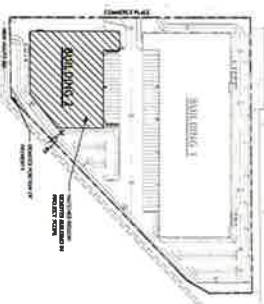
DATE:	04/11/10
NO. SHEETS:	200
OWNER:	AMGEN
ARCHITECT:	M+H
SCALE:	AS SHOWN

FLOOR PLAN

X2.1



⊕ 1 FLOOR PLAN BUILDING 2
 1" = 8'-0"



⊕ 2 INSET PLAN
 1" = 8'-0"

HICKSVILLE WATER DISTRICT

4 Dean Street, Hicksville, NY 11801 ♦ (516) 931.0184 ♦ (516) 931.6506 -Fax ♦ info@hicksvillewater.org



Application for Supply of Water

All information must be complete (please print or type).

Date: 9-29-2021 Account Number: _____
(Completed by District)

Owner's full Name: Lisa Lyng
(First Name) (Middle Initial) (Last Name)

Address: 250 Vesey Street-15th Flr New York NY 10281-1023
(Street) (Town/City) (State/Zip)

Home Phone: _____ Work Phone: 551-427-7171 E-Mail: lisa.lyng@brookfieldproperties.com
(Optional)

Address of property to be served (if different from above address):
125 New South Road Hicksville NY 11801
(Street) (Town/City) (State/Zip)

Section: 46 Block: N Lot: 30&31 Zoning District: LI

Plumber's Name & Contact Person: Greenfield Plumbing and Heating, Billy Greenfield, License # 1924

Address: 593 Hempstead Turnpike, Elmont, NY 11003 Phone: 516-431-1050
(Street) (Town/City) (State/Zip)

Type of Dwelling: (please check one of the following):

- One Family Residence
- Two Family Residence
- Condominium
- Other (Describe): _____

- Office Building
- Store
- Industrial
- Fire Service

Size of Water Service: 1" 1 1/2" 2" Other: 8" fire service
4" domestic
see attached addendum

Variance Required: *YES NO *If yes, provide a copy of the Variance issued by the Municipal Entity

Swimming Pool: YES NO Underground Sprinkler System: YES NO

➤ **APPLICATION FEE: \$200.00 PROCESSING FEE FOR RESIDENTIAL CONNECTIONS 2 INCHES OR LESS (PER CONNECTION). FOR NON-RESIDENTIAL AND RESIDENTIAL CONNECTIONS GREATER THAN 2 INCHES PLEASE CONTACT DISTRICT FOR FEE SCHEDULE INFORMATION.**

This Application cannot be accepted if all information has not been completed.

Lisa Lyng
I, _____, certify that I am the owner of the premises at

125 New South Rd, Hicksville, NY 11801 located in Section: 46 Lot: N Block: 30&31

and I hereby apply for a supply of water for said premises. I agree that the water to serve said premises shall be used in conformity with the Ordinance Rules and Regulations of the Hicksville Water District, copies of which I have read and understood. I agree to pay for water service at the rate specified by the Board of Commissioners of the Hicksville Water District.

Date Application Completed: _____

Date Application Received: _____

Engineer/Architect's Address: Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 910, White Plains, NY 10601



Property Owner's Signature

Lisa Lyng

Please PRINT Name

 (551) 427-7171

Owner's Phone Number

APPROVED

*DENIED

* Reason for Denial: _____

 _____

Board of Commissioners

Date

CUSTOMER INFORMATION:

- A single family residential dwelling allowance is up to 110,000 gallons per year.
- A two family residential dwelling allowance is up to 130,000 gallons per year.
- Commercial / Industrial and other residential accounts will be reviewed on an individual basis.

The following information must accompany this application:

1. Please submit a letter to the Commissioners of the Hicksville Water District describing the project. Provide domestic (average and peak), irrigation and fire flow demand information.
2. A copy of the property survey, prepared by a licensed surveyor showing all pertinent information, new Section, Block and Lot(s).
3. * "Application for Approval of a Backflow Prevention Device" must be completed (form DOH-347).
4. A full copy of the Building Plans showing the building dimensions, number of bedrooms, number of bathrooms, plumbing, floor space, slope of property, and the location of proposed utilities including but not limited to water, sewer lines, electric, gas and any drainage line and pools.

* NOTE: After installing a Backflow Prevention Device, a completed NYS Dept of Health form DOH-1013 - "Report on Test and Maintenance of Backflow Prevention Device" must be completed by a Certified Backflow Prevention Device Tester. This must be forwarded to our Board of Commissioners or the Hicksville Water District within thirty (30) days of the installation of the device.

* ONLY ONE INCH (1") SERVICE LINES AND PIT ASSEMBLIES CAN BE INSTALLED AT A NEW RESIDENTIAL DWELLING OR REMODELING WHICH REQUIRES A NEW SERVICE .

FIRE SYSTEM REQUIREMENTS:

If a fire sprinkler system is going to be present, a copy of the site plans/architect drawings must be submitted along with this application showing the following: hydrants, proposed sprinkler system, sprinkler heads, fire pump, location of double detector check assembly (DDCA), proposed location of connection to the Hicksville Water system, with the approval stamp of the Nassau County Fire Marshall, which must be filed with the District for approval of the fire service. Note: If the internal fire protection system utilizes hazardous chemicals then a reduced pressure detector assembly (RPDA) device is required.

- a) Gallons per minute required: 2740 (gpm)
- b) Dry System: Yes No
- c) Water Filled System: Yes No
- d) Additives used for Freeze Protection: Yes No

A COPY OF THIS APPLICATION MUST GO TO THE BUILDING DEPARTMENT AFTER APPROVAL BY THE DISTRICT

The Hicksville Water District will furnish and install a new service line tap in the water main. The owner or the licensed plumber will pay all fees required under this application; furnish all material, including copper piping, curb stop, curb box and rod, meter and backflow device assembly - all in accordance with the Hicksville Water District standard specifications. The owner or licensed plumber must also make all excavations, backfill, and compaction of backfill; obtain all roadway opening permits; restore all surfaces disturbed during performance of the work; test, flush and disinfect the new water service installation and place in continuous satisfactory service.

HICKSVILLE WATER DISTRICT

4 Dean Street, Hicksville, NY 11801 ♦ (516) 931.0184 ♦ (516) 931.6506 -Fax ♦
info@hicksvillewater.org



Owner Authorization Form

To Whom It May Concern:

I (WE), Lisa Lyng

AS THE OWNER(S) OF THE PREMISES SITUATED AT:

125 New South Road, Hicksville 11801
(STREET) (CITY) (ZIP CODE)

SECTION: 46 BLOCK: N LOT: 30&31

HAVE AUTHORIZED: Greenfield Plumbing and Heating

TO DO: Plumbing work

AT SAID PREMISES.

SIGNED: 
(SIGNATURE)

1 Meadowlands Plaza East Rutherford, NJ

ADDRESS

(551) 427-7171

TELEPHONE NUMBER

10/15/2021

DATE

HICKSVILLE WATER DISTRICT

GENERAL REQUIREMENTS FOR

NON-RESIDENTIAL FIRE & DOMESTIC SERVICES

The following information shall outline the general requirements of the Hicksville Water District and serve as a guideline for planning the layout, design and construction of the domestic water and fire services and may not be applicable for all situations. Specific approval must be obtained from the Water District for work different than described herein.

1. Three sets of stamped site grading/drainage/utility plans along with the deposit of a certified check in the amount of \$5,000 (payable to Hicksville Water District) must be delivered to the Water District along with a completed application for water service. The District will use this \$5,000 to fund outside consulting engineering costs. Any funds not utilized at the completion of the project will be returned.
2. An additional certified check of \$2,000 (payable to Hicksville Water District) shall be provided to the Water District along with a completed application for water service. This \$2,000 is a non-refundable application fee.
3. The Water District's consulting engineer, H2M Architects + engineers, will review the site and utility plan and provide comments and a letter of water availability.
4. Inspection services will be required during installation of the service stubs, including the site piping from the property line to inside the building. Inspection will also include verification of satisfactory pressure testing of the rigid piping. The owner shall be responsible for employment and coordination of a pre-approved water main contractor for piping installation work. All work and associated costs shall be borne by the owner/builder.
5. All rigid pipe shall be cement-lined ductile iron (DIP) - Class 52, conforming to standard AWWA C151. Copper tubing shall be type "K".
6. Mechanical Joint fittings (AWWA C110 or C153) shall be used on ductile-iron piping. All vertical bends shall be rodded on both ends of the mechanical connection. Retainer glands shall also be used on all mechanical joints.
7. Vertical gate valves up to and including 12-inch diameter shall be resilient wedge (AWWA C509) types. All valves 16-inches through 24-inches in diameter shall be butterfly type conforming to AWWA C504.
8. Hydrants shall be the Eddy Hydrant, # F-2640 as manufactured by Clow Valve Co. The threaded hose connections must be in conformance with the local Fire Department standards.
9. All fittings, bolts, threaded rods, retainer glands, etc. shall be new material. No used materials will be allowed.
10. The new section of main shall be properly chlorinated to at least 200 ppm (mg/l) for a minimum of 24 hours. Any residual pressure in the chlorinated piping shall be relieved prior to the 24-hour "cook" period. The main shall then be blown off to remove the chlorine solution and then pressure tested to at least 150 psi and held for two (2) hours; fire lines shall be tested to 200 psi. The chlorinated solution from the main shall be used when pumping up the main with the testing equipment. No leakage will be permitted during the test. Following satisfactory completion of the pressure test, the main shall be flushed again to remove the chlorinated water used in the pressure test. The Water District must be notified prior to any flushing activities.
11. The water main or service pipes must then be isolated and remain undisturbed for a minimum of 24 hours. At that point, the first bacteriological samples may be taken without further flushing. The main must again be isolated and sit for another 24 hours. The second bacteriological sample may then be taken, again without flushing. This method will be repeated as required until two consecutive, negative bacteriological samples for each designated run of pipe are obtained.

Short sections of pipe and associated fittings that must be immediately placed back into service (offsets, cut-ins, repairs, etc.) shall be internally swabbed with a high concentration chlorine solution with a

maximum contact time prior to installation. Adequate flushing shall be employed following completion of the repair in order to reduce the chlorine level to safe, normal levels.

12. The Water District shall perform the actual shutdown and must be notified at least 72 hours in advance. The contractor shall not operate any distribution system valves.

13. The customers to be out of service during the shutdown period must be determined and then notified at least 24 hours in advance; large or sensitive-use customers may require more notice and this will be determined at the discretion of the District. The District may also require that shut downs be made during "off hours" (late evenings, early mornings, weekends, etc.) in order to minimize inconvenience to existing customers. The water main contractor shall closely coordinate with the Water District on these matters.

14. Water District personnel or a representative of the District must be present when flushing or testing the new piping.

15. Where rodding is required (between mechanical bends, tees) "L" shaped eye bolts shall be used. "Duc-Lugs" will not be permitted.

16. Any section of existing District water main that has been undermined or its supporting soil compromised must be removed and replaced with new water main and appurtenances. This replacement shall take place only after the disturbed soil in the vicinity of the main has been compacted in 6" lifts from the depth of the original excavation to grade. The limits of main replacement shall include a minimum of 5 feet into undisturbed soil or the nearest joint, whichever is greater on each side of the spanned excavation.

Specific requirements for runs of fire line and domestic services to the building shall be as follows:

- A. The Hicksville Water District, as authorized under State Sanitary Code Subpart 5-1, Section 31, is requiring a new reduced pressure zone (RPZ) device on the domestic service line and a double detector check assembly (DDCA) for the fire line. Certain applications will require the use of a reduced pressure zone device (RPZ) on fire line in particular when a fire department connection or private hydrant is present. As with any backflow prevention submittal, plans must be submitted to the Water District for review, approval and forwarding to the Nassau County Department of Health (NCDH). The NCDH requires a sized-based fee for each commercial submission. You may contact the Health Department to verify current submittal fees.
- B. RPZ's and meters shall be installed outside in a vault located along the property fronting the public right-of-way or inside building. Heated enclosures may be used to house RPZ in lieu of an earth-bermed vault. Separate below-ground vaults are recommended for the meter installation. In certain instances, the District will permit the installation of backflow devices within the building. These instances shall be approved by District.
- C. Domestic meters are to be purchased through the Water District. The application, tapping and filing fee for new services shall be paid to the District prior to receiving water service. Where a private hydrant is to be located off of the fire sprinkler line, a FM/UL approved fire series meter shall be utilized.
- D. Annual fire line rental fees will be invoiced to the owner of the property. The fees are \$400, \$600, \$800 and \$1,000 for each fire line of sizes 4", 6", 8", and 10", respectively.
- E. Water piping shall be installed in undisturbed soil. No other utilities will occupy water trenches. Horizontal separation distances of 3'-0" shall be maintained between fire and domestic services and between water piping and other utilities or structures, unless otherwise specified. Sharing of trenches with other utilities will not be permitted.

- F. Copper and ductile-iron piping entering the building foundation walls and/or floor slabs shall be wrapped with appropriately sized Arma-Flex at the pipe-concrete interface.
- G. Ductile-iron piping stubs inside the building shall be left flanged at a minimum distance of 24 inches above the floor. The end shall be blind flanged and tapped for purposes of blowing off, testing and sampling. Rodding shall be provided continuously from the flange, through the slab, to the elbow. Being a vertical bend, the elbow shall be rodded back to the next fitting (or clamp).
- H. On fire services utilizing a booster pump system, a pump suction control valve must be installed immediately following the fire pump.
- I. Domestic and fire services larger than 2" shall be by a 3-valve or 4-valve cut-in only. A curb stop and box must be installed on all copper service lines at or about the property line. The minimum size gate valve allowed by the Water District is 6".
- J. A 10-foot horizontal and 18-inch minimum vertical separation from the sanitary and drainage facilities must be maintained. In cases where the water piping is above the sanitary piping and a 10-foot horizontal separation is not practical, the 18-inch minimum vertical clearance must be observed and a length of ductile iron water main shall be centered at the point of crossing. In cases where the sanitary piping is above the water piping, the sanitary piping shall be pressure rated, equivalent to the water piping. Water lines must be installed 10 feet clear of any leaching basins.
- K. Many of the above noted points are covered in greater detail in Hicksville Water District-published Standard Specifications and Typical Details. The District reserves the right to change or modify these specifications as conditions warrant and at its sole discretion.

Please understand that the Hicksville Water District is ultimately concerned with providing safe, quality drinking water to thousands of people in the service area. In these efforts, the district takes interest in seeing that quality water facility construction is maintained from the supply main to the building being served.

Updated: 4.14.2020

X:\District Operating Procedures & misc programs\New Water Service Connections\Draft Application Worksheets\General Req Non-Residential.doc

HICKSVILLE WATER DISTRICT

4 Dean Street, Post Office Box 9065, Hicksville, N.Y. 11802-9065
Phone: (516) 931-0184, Fax: (516) 931-6506

BOARD OF WATER COMMISSIONERS

Nicholas J. Brigandi
Commissioner

Karl M. Schweitzer
Commissioner

William E. Schuckmann
Commissioner



SUPERINTENDENT
Paul J. Granger, P.E.

DISTRICT TREASURER
Vincent Abbatiello, CPA

Effective, responsible water resource management, since 1921

Approved Water Main Contractor List

Alessio Pipe & Construction Co., Inc
102 Fairground Avenue
Huntington Station, NY 11746
(631) 423-0234

Bancker Construction Corp.
171 Freeman Ave.
Islip, NY 11751
(631) 582-8880

Merrick Utility Associates, Inc.
91 Marine Street
Farmingdale, NY 11735
(631) 249-2560

Orchid Sewer & Water Contracting Corp.
11 Dennis Street
Garden City, NY 11040
(516) 747-1311

Last update: 04.14.2020

X:\District Operating Procedures & misc programs\New Water Service Connections\Approved Water Main Contractor List.docx

Hicksville Water District Instructions for the Design and Installation of Reduced Pressure Zone Devices

- a.) *Application:* NYSDOH Form DOH-347 – Application for Approval of Backflow Prevention Devices. Sections 1 through 13 must be completely filled out. The water district completes section 14 if the application and plan are approved. Four copies of the application with original licensed engineer or architect stamp and signatures are required.
- b.) Hicksville Water District plan review and inspection fee – See new water service application instructions.
- c.) *Plan:* must be sealed by a licensed engineer or registered architect and conform to the requirements of the New York State Sanitary Code, Nassau County Public Health Ordinance. Plan must detail at a minimum the device in plan and section view and required regulatory agency notes. Four sets of plans are required. The Plan shall include the following:

I. Required Reduced Pressure Zone (RPZ) Device Design Notes and Comments:

- All connections on the domestic and fire service lines shall be down stream of RPZ. Bypassing a backflow prevention device is a violation of Part 5 of the New York State Sanitary Code.
- Backflow device installations shall be in accordance with Article VI of the Nassau County Public Health Ordinance, Part 5 of the New York State Sanitary Code and Town of North Hempstead Plumbing Code. Backflow devices must be listed on the New York State Health Department list of approved devices. *Plan must state the backflow device manufacturer and model.*
- A New York State certified backflow prevention device tester shall test the RPZ on an annual basis with the results reported to the Hicksville Water District on NYSDOH form Gen 215.
- The device must be installed by a plumber who is licensed by the Town of North Hempstead.
- Device shall be protected from freezing and flooding.
- All hose bibs must be installed / retrofitted with vacuum breakers.
- Provide 30 inch minimum clearance from any obstruction in order to facilitate testing and maintenance. Provide 8 inch minimum clearance from any obstruction from sides and rear of device. Provide 12 inch minimum clearance from any obstruction from top of device.
- Shutoff valves on devices must be resilient seat type.
- Provide 12 inch minimum clearance from top of drain funnel to RPZ drain discharge and 18 inch minimum clearance from RPZ drain discharge to finished floor. Drainage must be positive with the effluent visible.
- **Notification to the Hicksville Water District :** The plumber shall notify the Superintendent or Field Supervisor at least 24 hours prior to the commencement of any work. Telephone number: 516.767.0171.

Hicksville Water District

Instructions for the Design and Installation of Reduced Pressure Zone Devices

II. Required Dimensions and Clearances:

- Thirty (30") to sixty (60") inches from centerline of RPZ device to floor. Any installation at a greater height shall be provided with a fixed platform, a portable scaffold or a lift meeting OSHA standards.
- Thirty (30") inch minimum from test cocks to any obstructions.
- Eight (8") inch minimum from centerline of device to wall.
- Eighteen (18") inch minimum from relief spout to floor.
- All building dimensions.
- Room dimensions for interior applications.
- Vault dimensions for exterior applications.

III. Additional Plan Requirements:

- P.E. or R.A. seal on plans.
- State manufacturer, model number and size of device.
- Identify premises on plans.
- Show two (2) views of device-plan and section.
- Show accurate test cock location.
- Indicate grade on all plans.

III. Additional Plan Requirements (cont.):

- RPZ must be above grade. Give specific drainage details.
- Provide site plan indicating street name, location of water main and all services, location of meter and RPZ device. Show all service lines and indicate sizes.
- Give adequate (3"x5") space for Health Department approval stamp.
- All material must be submitted to this office in quadruplicate.
- Fire service line RPZ devices must be equipped with a detector assembly (for example a Febco Model 826YD is equipped with a detector assembly).

c.) Other important information for the developer / property owner pertaining to RPZ installations:

- The water district must receive health department approval before device installation can commence. Approved application and plan are maintained on file by the district.
- After completion of the installation, the Hicksville Water District will make a physical inspection of the device and water service. **The installation of the device MUST match the approved drawings.** The contractor must submit to this office a copy of a certified test of this device on form number **DOH 1013** before water service can be provided.
- Plumbers or contractors must be licensed by the Town (Town of Oyster Bay or Hempstead) and file all permits required by the Town. All work must comply with prevailing state, county and water district requirements.
- After installation, the property owner is responsible for an annual test. The test results must be sent to the Hicksville Water District on form **DOH 1013**.



Technical Excellence
Practical Experience
Client Responsiveness

Nassau Logistics Center
125 New South Road
Hicksville, NY 11801

Water Supply Application Addendum

This water supply application request includes both a fire service and a domestic service to two separate warehouse buildings proposed for the Site. The request includes a main extension onto the property. The 8" diameter ductile iron fire service line includes a fire loop with fire hydrant's around the property tapping into the water main on Commerce Place and a second tap in the water line on New South Road. This fire service line includes an exterior backflow preventer. The domestic service includes a 4" diameter ductile iron line with a service to each building.

Gregory DelMastro

From: Paul Granger <pgranger@hicksvillewater.org>
Sent: Tuesday, October 26, 2021 3:43 PM
To: Gregory DelMastro
Cc: Chuck Utschig; Timothy McGuire (tmcguire@h2m.com); jcollins@h2m.com; Jason Tare
Subject: [External] RE: 125 New South Road, Hicksville, NY, Will Serve Letter Request

Thanks Greg.....sorry for the late reply I was out of the office last week. Please note that the following payments will be required as part of the application process:

1. Three sets of stamped site grading/drainage/utility plans along with the deposit of a certified check in the amount of \$5,000 (payable to Hicksville Water District) must be delivered to the Water District along with a completed application for water service. The District will use this \$5,000 to fund outside consulting engineering costs. Any funds not utilized at the completion of the project will be returned.
2. An additional certified check of \$2,000 (payable to Hicksville Water District) shall be provided to the Water District along with a completed application for water service. This \$2,000 is a non-refundable application fee.

No need to submit hard copies of the plans at this time. The electronic submission is fine for now.

Paul J. Granger, P.E.
Superintendent
Hicksville Water District
516.931.0184 ext. 611
e-mail: pgranger@hicksvillewater.org
hicksvillewater.org

We are Moving Effective August 9th : Our administrative offices will be temporarily moved to 101 Jerusalem Avenue, Hicksville, NY 11801 while needed upgrades to our main water plant site take place.

From: Gregory DelMastro <gdelmastro@langan.com>
Sent: Friday, October 15, 2021 12:45 PM
To: Paul Granger <pgranger@hicksvillewater.org>
Cc: Chuck Utschig <cutschig@langan.com>; Timothy McGuire (tmcguire@h2m.com) <tmcguire@h2m.com>; jcollins@h2m.com; Jason Tare <jtare@hicksvillewater.org>; Gregory DelMastro <gdelmastro@langan.com>
Subject: RE: 125 New South Road, Hicksville, NY, Will Serve Letter Request

Paul:

In response to your prior email on September 28, please see the attached as per your request in order to obtain a "Will Serve" letter for the above referenced property.

Thanks
Greg

Gregory DelMastro
Senior Project Manager

LANGAN

Gregory DelMastro

From: Paul Granger <pgranger@hicksvillewater.org>
Sent: Friday, November 5, 2021 2:44 PM
To: Gregory DelMastro
Subject: [External] RE: 125 New South Road, Hicksville, NY, Will Serve Letter Request

Greg:

I am not sure if I responded but the submittal has been forwarded to H2M for review. We will get back to you with any question or comments.

Have a great weekend.

Paul

Paul J. Granger, P.E.
Superintendent
Hicksville Water District
516.931.0184 ext. 611
e-mail: pgranger@hicksvillewater.org
hicksvillewater.org

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Subject: RE: 125 New South Road, Hicksville, NY, Will Serve Letter Request

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Thanks
Greg

Gregory DelMastro
Senior Project Manager

LANGAN

Direct: 914.323.7414
Mobile: 914.391.9608
[File Sharing Link](#)
www.langan.com

NEW YORK NEW JERSEY CONNECTICUT MASSACHUSETTS PENNSYLVANIA WASHINGTON, DC
VIRGINIA OHIO ILLINOIS FLORIDA TEXAS ARIZONA COLORADO WASHINGTON CALIFORNIA
ATHENS CALGARY DUBAI LONDON PANAMA

LANGAN

TRANSMITTAL

Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401

To:

Paul J. Granger, PE

Superintendent

Hicksville Water District

4 Dean Street

Hicksville, NY 11801

Date:

October 28, 2021

Project No.:

190065402

Re:

Nassau Logistics Center

125 New South Road

Town of Oyster Bay, NY

Phone No.:**Via:**

- Fed Ex: Priority Standard 2-Day
 UPS: Priority Standard 2-Day
 1st Class Mail Email

Items:

- Prints Letter Other
 Sepia Drawings Reports
 Other Application and Checks

Copies:**Dwg. No.:****Description:**

1		Completed Application for Supply of Water & Addendum
1		Certified Check \$2,000 Hicksville Water District
1	A2.1	Floor Plans Bldgs. 1 & 2
3	CG101, CG201, CU101	Stamped Site Grading, Drainage, and Utility Plans
1		Certified Check \$5,000 Hicksville Water District

- For Your Information For Your Use As Requested By: Paul Granger
 For Review and Comment For Approval Other: _____

Remarks: Please find the attached information for your review and issuance of a "will serve" letter to the referenced site.

Copies To: C. Utschig PE - Langan

From: Greg DelMastro

HICKSVILLE WATER DISTRICT

4 Dean Street, Post Office Box 9065, Hicksville, N.Y. 11802-9065
Phone: (516) 931-0184, Fax: (516) 931-6506

BOARD OF WATER COMMISSIONERS

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Commissioner

William E. Schuckmann
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Commissioner



SUPERINTENDENT
Paul J. Granger, P.E.

DISTRICT TREASURER
Vincent Abbatiello

Effective, responsible water resource management, since 1921

November 11, 2021

Gregory A. DelMastro, PG
Langan Engineering and Environmental Services
1 North Broadway, Suite 910
White Plains, NY 10601

Re: Hicksville Water District
Request for Water Service – Hydraulic Model Analysis
125 New South Road – Hicksville, NY 11801
H2M Project No.: HKWD2152

Dear Mr. DelMastro:

We have reviewed your request for water service and note the large fire demand associated with this development. In consultation with our engineers a hydraulic modeling analysis needs to be performed to determine what improvements, if any are required to deliver the water requested. Please deposit a certified check in the amount of \$3,000 (payable to Hicksville Water District) to the Water District to cover the modeling expenses. Any funds not utilized at the completion of the project will be returned.

If you have any further questions regarding the above please feel free to contact our office.

Very truly yours,
HICKSVILLE WATER DISTRICT

Paul J. Granger, P.E.
Superintendent

cc: Board of Commissioners (HKWD)
Richard Humann, P.E. (H2M)
Timothy McGuire P.E. (H2M)



architects + engineers

538 Broad Hollow Road, 4th Floor East
Melville, NY 11747 | tel 631.756.8000

November 15, 2021

Gregory A. DelMastro, PG
Langan Engineering and Environmental Services
1 North Broadway, Suite 910
White Plains, NY 10601

**Re: Hicksville Water District
Request for Water Service – Backflow Prevention Device Review
125 New South Road – Hicksville, NY 11801
H2M Project No.: HKWD2152**

Dear Mr. DelMastro:

We are the consulting engineers for the Hicksville Water District (District) and have been directed to respond to your request for water service associated with 125 New South Road in Hicksville, New York. We understand the owner of the property has requested a new fire sprinkler and domestic water service to each of the proposed warehouses on site.

Based on the site plans and letter report provided to our office, we understand that the Owner is proposing to construct two warehouses, Warehouse 1 and Warehouse 2. Warehouse 1 is a total of 204,662 square feet (sf), consisting of 193,862 sf of warehouse space and 10,800 sf of office space. Warehouse 2 is a total of 98,674 sf, consisting of 91,474 sf of warehouse space and 7,200 sf of office space. For each warehouse, a new 4-inch domestic water service and 8-inch fire service equipped with backflow prevention devices on each line have been requested. We are currently reviewing water availability for the development with the Hicksville Water District and will advise upon completion of the review.

It is acknowledged that backflow prevention plans and documentation have been submitted to the Hicksville Water District for review. We have conducted a preliminary review of the backflow prevention plans and documentation and present the following comments:

Utility Plan CU101 and Details CS503:

1. Include existing water main size/location on plans. Connection to the existing 12-inch water main on New South Road and 8-inch water main on Commerce Place, which are both located in the public right-of-way and owned by the District, shall be made, and indicated on the plans as such, by a three (3) valve connection unless otherwise approved. The plans currently show connection by a proposed wet-cut, including a tapping sleeve and valve and should be revised accordingly.
2. The Utility Plan submitted to our office currently shows a meter and backflow prevention vault at the water and fire service entrance to each warehouse, extending from an 8-inch water main on site, which loops around the proposed warehouses and includes three fire hydrants. This layout is not to the satisfaction of the Hicksville Water District. Please revise plans and details to indicate one meter/backflow enclosure per incoming service to the property (two total) at the property line containing a master meter and reduced pressure detector assembly (RPDA). This configuration will ensure that the onsite water main and fire hydrants are privately maintained by the Owner.
3. The Utility Plan calls for an 8-inch fire service and 4-inch domestic water service, which conflicts with the details on sheet CS503. Details on CS503 call for a 12-inch fire line and 10-inch RPDA. Please clarify what is being proposed.
4. The Utility Plan indicates special class 56 cement lined ductile iron (CLDI) water main for the on site loop. Please note that the District's standard is special class 52. Additionally, on detail sheet CS503,



there are several references to C-900 PVC water mains which conflict with the utility plan. Please clarify where each type of pipe is being proposed.

5. The following notes should be added to the water meter and backflow detail:
 - a. Installations shall be in accordance with all applicable Hicksville Water District, Nassau County Department of Health, and New York State Health Department regulations.
 - b. The Contractor shall engage a certified backflow prevention device tester to test the RPDA devices after installation. It is the Owner's responsibility to have each device certified at least annually with the results reported to the Hicksville Water District and Nassau County Department of Health on N.Y. State Form Gen 215.
 - c. Test cocks shall be positioned to facilitate testing.
 - d. Drainage to be positive effluent discharge visible on RPDA installations.
 - e. All gate valves shall be OS&Y.
 - f. *Reference to Monroe County Department of Health should be removed from the plans.*

The District's general requirements for fire and domestic services must be strictly adhered to and are attached for your use. Please revise the backflow prevention plans as per the above comments. Any additional comments will be included when our review of water availability for the property is complete. If you have any further questions regarding the above please feel free to contact our office.

Very truly yours,

H2M architects + engineers

A handwritten signature in black ink, appearing to read 'Steve L. Mirra'.

Steve L. Mirra, P.E.
Project Engineer

SLM

Enclosure

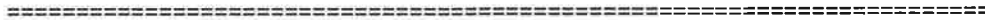
cc: Board of Commissioners (HKWD)
Supt. Paul Granger, P.E. (HKWD)
Jason Tare (HKWD)

X:\HKWD (Hicksville Water District) - 10510\HKWD2152 - 125 New South Road\00-Correspondence\2021.11.15 Langan - Backflow Plan Comments.docx

HICKSVILLE WATER DISTRICT

GENERAL REQUIREMENTS

NON-RESIDENTIAL FIRE & DOMESTIC SERVICES



The following information shall outline the general requirements of the Hicksville Water District and serve as a guideline for planning the layout, design and construction of the domestic water and fire services and may not be applicable for all situations. Specific approval must be obtained from the Water District for work different than described herein.

1. A set of stamped site grading/drainage/utility plans along with the deposit of a certified check in the amount of \$5,000 (payable to Hicksville Water District) must be delivered to the Water District along with a completed application for water service. The District will use this \$5,000 to fund outside consulting engineering costs. Any funds not utilized at the completion of the project will be returned.
2. An additional certified check of \$2,000 (payable to Hicksville Water District) shall be provided to the Water District along with a completed application for water service. This \$2,000 is a non-refundable application fee.
3. The Water District's consulting engineer, H2M Architects + engineers, will review the site and utility plan and provide comments and a letter of water availability.
4. Inspection services will be required during installation of the service stubs, including the site piping from the property line to inside the building. Inspection will also include verification of satisfactory pressure testing of the rigid piping. The owner shall be responsible for employment and coordination of a pre-approved water main contractor for piping installation work. All work and associated costs shall be borne by the owner/builder.
5. All rigid pipe shall be cement-lined ductile iron (DIP) - Class 52, conforming to standard AWWA C151. Copper tubing shall be type "K".
6. Mechanical Joint fittings (AWWA C110 or C153) shall be used on ductile-iron piping. All vertical bends shall be rodded on both ends of the mechanical connection. Retainer glands shall also be used on all mechanical joints.
7. Vertical gate valves up to and including 12-inch diameter shall be resilient wedge (AWWA C509) types. All valves 16-inches through 24-inches in diameter shall be butterfly type conforming to AWWA C504.
8. Hydrants shall be the Eddy Hydrant, # F-2640 as manufactured by Clow Valve Co. The threaded hose connections must be in conformance with the local Fire Department standards.
9. All fittings, bolts, threaded rods, retainer glands, etc. shall be new material. No used materials will be allowed.
10. The new section of main shall be properly chlorinated to at least 200 ppm (mg/l) for a minimum of 24 hours. Any residual pressure in the chlorinated piping shall be relieved prior to the 24-hour "cook" period. The main shall then be blown off to remove the chlorine solution and then pressure tested to at least 150 psi and held for two (2) hours; fire lines shall be tested to 200 psi. The chlorinated solution from the main shall be used when pumping up the main with the testing equipment. No leakage will be permitted during the test. Following satisfactory completion of the pressure test, the main shall be flushed again to remove the chlorinated water used in the pressure test. The Water District must be notified prior to any flushing activities.
11. The water main or service pipes must then be isolated and remain undisturbed for a minimum of 24 hours. At that point, the first bacteriological samples may be taken without further flushing. The main must again be isolated and sit for another 24 hours. The second bacteriological sample may then be taken, again without flushing. This method will be repeated as required until two consecutive, negative bacteriological samples for each designated run of pipe are obtained.

Short sections of pipe and associated fittings that must be immediately placed back into service (offsets, cut-ins, repairs, etc.) shall be internally swabbed with a high concentration chlorine solution with a maximum contact time prior to installation. Adequate flushing shall be employed following completion of the repair in order to reduce the chlorine level to safe, normal levels.

12. The Water District shall perform the actual shutdown and must be notified at least 72 hours in advance. The contractor shall not operate any distribution system valves.
13. The customers to be out of service during the shutdown period must be determined and then notified at least 24 hours in advance; large or sensitive-use customers may require more notice and this will be determined at the discretion of the District. The District may also require that shut downs be made during "off hours" (late evenings, early mornings, weekends, etc.) in order to minimize inconvenience to existing customers. The water main contractor shall closely coordinate with the Water District on these matters.
14. Water District personnel or a representative of the District must be present when flushing or testing the new piping.
15. Where rodding is required (between mechanical bends, tees) "L" shaped eye bolts shall be used. "Duc-Lugs" will not be permitted.
16. Any section of existing District water main that has been undermined or its supporting soil compromised must be removed and replaced with new water main and appurtenances. This replacement shall take place only after the disturbed soil in the vicinity of the main has been compacted in 6" lifts from the depth of the original excavation to grade. The limits of main replacement shall include a minimum of 5 feet into undisturbed soil or the nearest joint, whichever is greater on each side of the spanned excavation.

Specific requirements for runs of fire line and domestic services to the building shall be as follows:

- A. The Hicksville Water District, as authorized under State Sanitary Code Subpart 5-1, Section 31, is requiring a new reduced pressure zone (RPZ) device on the domestic service line and a double detector check assembly (DDCA) for the fire line. Certain applications will require the use of a reduced pressure zone device (RPZ) on fire line in particular when a fire department connection or private hydrant is present. As with any backflow prevention submittal, plans must be submitted to the Water District for review, approval and forwarding to the Nassau County Department of Health (NCDH). The NCDH requires a sized-based fee for each commercial submission. You may contact the Health Department to verify current submittal fees.
- B. RPZ's and meters shall be installed outside in a vault located along the property fronting the public right-of-way or inside building. Heated enclosures may be used to house RPZ in lieu of an earth-bermed vault. Separate below-ground vaults are recommended for the meter installation. In certain instances, the District will permit the installation of backflow devices within the building. These instances shall be approved by District.
- C. Domestic meters are to be purchased through the Water District. The application, tapping and filing fee for new services shall be paid to the District prior to receiving water service. Where a private hydrant is to be located off of the fire sprinkler line, a FM/UL approved fire series meter shall be utilized.
- D. Annual fire line rental fees will be invoiced to the owner of the property. The fees are \$400, \$600, \$800 and \$1,000 for each fire line of sizes 4", 6", 8", and 10", respectively.

- E. Water piping shall be installed in undisturbed soil. No other utilities will occupy water trenches. Horizontal separation distances of 3'-0" shall be maintained between fire and domestic services and between water piping and other utilities or structures, unless otherwise specified. Sharing of trenches with other utilities will not be permitted.
- F. Copper and ductile-iron piping entering the building foundation walls and/or floor slabs shall be wrapped with appropriately sized Arma-Flex at the pipe-concrete interface.
- G. Ductile-iron piping stubs inside the building shall be left flanged at a minimum distance of 24 inches above the floor. The end shall be blind flanged and tapped for purposes of blowing off, testing and sampling. Rodding shall be provided continuously from the flange, through the slab, to the elbow. Being a vertical bend, the elbow shall be rodded back to the next fitting (or clamp).
- H. On fire services utilizing a booster pump system, a pump suction control valve must be installed immediately following the fire pump.
- I. Domestic and fire services larger than 2" shall be by a 3-valve or 4-valve cut-in only. A curb stop and box must be installed on all copper service lines at or about the property line. The minimum size gate valve allowed by the Water District is 6".
- J. A 10-foot horizontal and 18-inch minimum vertical separation from the sanitary and drainage facilities must be maintained. In cases where the water piping is above the sanitary piping and a 10-foot horizontal separation is not practical, the 18-inch minimum vertical clearance must be observed and a length of ductile iron water main shall be centered at the point of crossing. In cases where the sanitary piping is above the water piping, the sanitary piping shall be pressure rated, equivalent to the water piping. Water lines must be installed 10 feet clear of any leaching basins.
- K. Many of the above noted points are covered in greater detail in Hicksville Water District-published Standard Specifications and Typical Details. The District reserves the right to change or modify these specifications as conditions warrant and at its sole discretion.

Please understand that the Hicksville Water District is ultimately concerned with providing safe, quality drinking water to thousands of people in the service area. In these efforts, the district takes interest in seeing that quality water facility construction is maintained from the supply main to the building being served.

AGENCY CORRESPONDENCE



UNITED STATES ENVIRONMENTAL PROTECTION AGENCY

Region 2
Office of Regional Counsel
290 Broadway, 17th Floor
New York, NY 10007-1866

October 27, 2021

Via E-mail Transmission and U.S. Mail

Mr. Tyler Mordas
Pictor Nassau Logistics Center, LLC
c/o Brookfield Properties
250 Vesey Street, Floor 15
New York, NY 10281

RE: Hooker Chemical & Plastics Corp./Ruco Polymers Superfund Site,
Hicksville, Town of Oyster Bay, NY
USEPA ID NYD002920312
Status/Comfort Letter

Dear Mr. Mordas:

The U.S. Environmental Protection Agency (EPA) is in receipt of a May 26, 2021 email concerning Pictor Nassau Logistics Center, LLC's (formerly referred to as Pictor 125 New South Road, LLC) (Pictor), acquisition of an approximately 15-acre property with an address of 125 New South Road in Hicksville, Town of Oyster Bay, New York (Property). In subsequent telephone and email communications with you and other representatives of your company and/or Brookfield Properties, EPA learned that Pictor is interested in redeveloping the Property into a commercial warehouse and distribution facility and has requested that EPA provide a Superfund comfort/status letter. The purpose of this letter is to provide information available to the EPA about the Property and potentially applicable federal statutory provisions and policies under the Comprehensive Environmental Response, Compensation, and Liability Act of 1980, as amended (CERCLA), commonly referred to as Superfund, as of the date of this letter. We hope this information will enable you make informed decisions you move forward with the development of the Property.

Under CERCLA, the Agency's mission is to protect human health and the environment from the actual or potential risks posed by exposure to contaminated or potentially contaminated land and other media. In addition to helping communities by addressing potential risks stemming from hazardous materials, the Agency also prioritizes the return of such sites to productive reuse. A Superfund cleanup can help return lands to productive reuse.

Property Status

Information on sites that are, or potentially are, contaminated with hazardous materials and may warrant action under Superfund, including site-specific documents and fact sheets, can be found in the EPA Superfund Enterprise Management System (SEMS), which may be accessed at <https://cumulis.epa.gov/supercpad/cursites/srchsites.cfm>. SEMS includes a public access database that

contains information about sites where there has been EPA involvement under Superfund. As you are aware, the Property is located within the Hooker Chemical & Plastics Corp./Ruco Polymer Corp. Superfund Site (Site). EPA has been addressing most of the Site under its Superfund authority and the New York State Department of Conservation (NYSDEC) has been addressing other parts of the Site under state authority. Information on this Property may be found in SEMS at <https://cumulis.epa.gov/supercpad/cursites/csitinfo.cfm?id=0201477>.

History and Status of the Site

In addition to the information that can be found in the SEMS database, the Site's Second Five-Year Review Report was completed on February 22, 2021 and provides information on the current conditions at the Site. The report can be found at <https://semspub.epa.gov/work/02/609874.pdf>.

The Site was placed on the Superfund National Priorities List (NPL) in 1984. The NPL is EPA's national list of sites with documented releases and potential releases of hazardous substances, pollutants, or contaminants that appear to pose the greatest threat to public health, welfare, and the environment. The Site was divided into five operable units (OUs) for investigation and cleanup purposes. All of the response actions at the Site are being or were conducted by one or more potentially responsible parties (PRPs) under EPA or NYSDEC oversight. OU1 addressed contaminated soils at the Site and associated impacts to groundwater underlying the Site. OU2 addressed surface soils at the Site contaminated with polychlorinated biphenyls or PCBs. These actions were completed by January 2006.

OU3 addresses a contaminated groundwater plume beneath the Site that extends downgradient of the Site. The Site plume comingles with another contaminated groundwater plume from two nearby sites that are being addressed by NYSDEC under state authority. On September 29, 2000, EPA selected a cleanup remedy for OU3 in a Record of Decision (ROD) that called for groundwater treatment through the use of biosparging technology to enhance vinyl chloride monomer (VCM) degradation with the goal of achieving the state drinking water standard of 2 parts per billion (ppb) for VCM and the maximum contaminant levels or MCLs for other volatile organic compounds (VOCs). OU3 operation, maintenance, and monitoring (OM&M) activities are currently carried out by the PRPs.

OU4, which was overseen by NYSDEC and was completed in September 2017, addressed on-Property contaminated soils that were not addressed by OU1 and OU2 and on-Property soil vapor. OU5, which is being overseen by NYSDEC, addresses off-Property vapor intrusion and is ongoing. Additional details regarding OU4 and OU5, including environmental and health assessment summaries, are available on NYSDEC's website at:

www.dec.ny.gov/cfm/external/haz/details.cfm?pageid=3&progno=130004.

The OU3 remedy acknowledged that the biosparging system would operate in addition to a groundwater treatment system called an on-site containment (ONCT) system related to the two nearby state sites: the Northrop Grumman Aerospace Corporation (Northrop Grumman) and the Naval Weapons Industrial Reserve Plant (NWIRP) sites. The ONCT began operating in 1998 and is removing VOCs emanating from the Northrop Grumman and the NWIRP Sites and VCM from the Hooker/Ruco Site.

Evaluation of groundwater data indicates that the biosparging system is effectively addressing the groundwater contamination underlying the Site. OM&M reports, as well as the 2016 and 2021 Five-Year Review Reports discuss the significant reduction in the concentration of VCM and other VOCs in the groundwater and the overall size of the VCM plume. It is anticipated that the biosparge system will

continue in the OM&M stage for one to five more years, followed by shutdown of the system and two years of monitoring. Decommissioning of the system may occur by 2030.

EPA and NYSDEC have been and continue to assess sites in New York State for emerging contaminants including per-and poly-fluoroalkyl substances (PFAS). Sampling was conducted at the Site in 2018 for PFAS, which were detected in groundwater. PFAS are discussed in more detail in the CERCLA Bona Fide Prospective Purchaser Liability Protection section below.

Reuse of the Property

As noted above, EPA understands that Pictor intends to redevelop the Property with commercial warehouse and distribution facilities. We also understand that the development will involve limited grading and other subsurface disturbance of the Property, and that the activities will comply with property restrictions recorded in an Environmental Easement (commonly referred to as an institutional control) and a Site Management Plan (SMP), both approved by NYSDEC. As of the date of this letter, we have not identified any obvious incompatibility between the proposed use of the Property as described to EPA and the ongoing groundwater cleanup of the Site. All on-Site remediation is complete, as overseen by either EPA or NYSDEC. It is Pictor's obligation to comply with the institutional and engineering controls applicable to the Property, as set forth in the Environmental Easement and SMP.

CERCLA's Bona Fide Prospective Purchaser Liability Protection

EPA understands that Pictor is interested in information regarding the bona fide prospective purchaser (BFPP) provision of CERCLA. Congress amended CERCLA in 2002 to exempt certain parties that buy contaminated or potentially contaminated properties from CERCLA liability if they qualify as BFPPs. This BFPP provision states that a person who acquires a Superfund site after January 11, 2002, and who complies with statutory criteria of CERCLA §§ 101(40) and 107(r)(1), will not be liable as an owner or operator under CERCLA. Parties qualifying as a BFPP are protected from owner or operator liability under Superfund so long as the party meets the definition of a BFPP (42 U.S.C. § 9601(40)). To remain protected from Superfund liability for the existing contamination at the site, a party must achieve and maintain BFPP status for as long as potential liability exists. Potential liability exists for as long as contamination remains on the property and/or the statute of limitations on cost recovery actions is in effect. Some of the criteria for being a BFPP must be satisfied prior to acquiring a site or property within the site, such as all appropriate inquiries (AAI). AAI is the process of evaluating a property's environmental conditions and assessing potential liability for any hazardous substance contamination. To meet BFPP criteria a party must perform AAI into the previous ownership and uses of property before acquiring a property. Other criteria for maintaining BFPP status are continuing obligations that must be maintained after purchase of the property, such as taking reasonable steps to stop continuing releases, prevent threatened future releases, and prevent or limit human, environmental, or natural resource exposure to earlier hazardous substance releases. In addition, the owner cannot impede the performance of a response action or natural resource restoration nor can he dispose of hazardous substances at the Site after acquisition. The owner must also comply with land use restrictions, not impede institutional controls, take reasonable steps to manage releases, comply with information requests and administrative subpoenas, and not cause or contribute to the contamination.

Certain PFAS may be designated CERCLA hazardous substances under Section 102 of CERCLA or fall within the definition of "hazardous substance" in Section 101(14) of CERCLA in the future. Once certain PFAS become CERCLA hazardous substances, the requirements for BFPP status would apply to PFAS.

The Agency has issued guidance discussing some of the BFPP criteria. See Enforcement Discretion Guidance Regarding Statutory Criteria for Those Who May Qualify as CERCLA Bona Fide Prospective Purchasers, Contiguous Property Owners, or Innocent Landowners, dated July 29, 2019 ("Common Elements") ("Common Elements Guidance") available at www.epa.gov/enforcement/common-elements-guidance. Note that a court, not EPA, ultimately determines whether a landowner has met the criteria for BFPP status. Thus, EPA recommends that you and your legal counsel assess whether your company satisfies each of the statutory requirements necessary to achieve and maintain BFPP status.

State Actions

EPA can only provide you with information about federal Superfund actions at the Site, federal law and regulations, and EPA guidance. For information about potential state actions and liability issues, please contact Steven Scharf, the NYSDEC project manager for the Site, at steven.scharf@dec.ny.gov or 518-402-9620.

Conclusion

EPA Region 2 remains dedicated to facilitating the cleanup and reuse of contaminated properties and hopes the information contained in this letter is useful to you. You may wish to engage in further consultation with environmental professionals and NYSDEC before taking any action to redevelop the Property. These consultations may provide a greater level of comfort about the compatibility of the proposed use and ensure compliance with any applicable federal, state, and local laws or requirements. If you have any additional questions or wish to discuss this information further, please feel free to contact me.

Sincerely,

Marla E. Wieder

Marla E. Wieder
Assistant Regional Counsel
New York/Caribbean Superfund Branch

cc: Elizabeth E. Mack, Locke Lord, LLP
Steven Scharf, NYSDEC



**Parks, Recreation,
and Historic Preservation**

ANDREW M. CUOMO
Governor

ERIK KULLESEID
Commissioner

July 12, 2019

Mr. John Simon
Sr. Vice President
Nathan Associates
1777 N. Kent Street
Suite 1400
Arlington, VA 22209

Re: DEC
Simone Development 125 New South Road SWPPP
125 New South Road, Hicksville, NY
19PR04391

Dear Mr. Simon:

Thank you for requesting the comments of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the project in accordance with the New York State Historic Preservation Act of 1980 (Section 14.09 of the New York Parks, Recreation and Historic Preservation Law). These comments are those of the OPRHP and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8) and its implementing regulations (6 NYCRR Part 617).

Based upon this review, it is the opinion of OPRHP that no properties, including archaeological and/or historic resources, listed in or eligible for the New York State and National Registers of Historic Places will be impacted by this project.

If further correspondence is required regarding this project, please be sure to refer to the OPRHP Project Review (PR) number noted above.

Sincerely,

R. Daniel Mackay

Deputy Commissioner for Historic Preservation
Division for Historic Preservation

Division for Historic Preservation

P.O. Box 189, Waterford, New York 12188-0189 • (518) 237-8643 • parks.ny.gov

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Remediation, Remedial Bureau A
625 Broadway, 12th Floor, Albany, NY 12233-7015
P: (518) 402-9625 | F: (518) 402-9627
www.dec.ny.gov

John Pentilchuk
GHD Consultants Inc
455 Philips Street Unit 100A
Waterloo, Ontario N2L 3X2 Canada

June 24, 2021

RE: Bayer OXY Hooker RUCO Site,
NYSDEC site No 130004.

Dear Mr. Pentilchuk,

The New York State Department of Environmental Conservation (NYSDEC) and the New York State Department of Health (NYSDOH) have reviewed the revised Site Management Plan entitled "Site Management Plan, Sub-Slab Depressurization Systems, Revision 3, February 9, 2021." There are no further comments on this SMP. Therefore, by means of this letter and, pursuant to the OU5 Administrative Order on Consent, the NYSDEC approves this SMP and is acceptable for immediate implementation.

The OU5 Final Engineering Report has also been reviewed and accepted with no further comment. Approval for the FER will be part of the issuance by the NYSDEC of a Certificate of Completion (COC) for OU5. The COC issuance letter will also reclassify the Hooker RUCO site from 2 to 4 on the Registry of Inactive Hazardous Waste Disposal Sites in New York State.

If you have any questions, please contact me at the above address or call at (518) 402-9620 or email me at steven.scharf@dec.ny.gov.

Sincerely,

Steven M. Scharf

(electronically signed by the above)
Steven M. Scharf, P.E.
Project Engineer
Remedial Bureau A
Division of Environmental Remediation

ec: J. Swartwout, NYSDEC
C. Engelhardt, NYSDEC Region 1
R Ockerby, NYSDOH, renata.ockerby@health.ny.gov
C. Pareja, Carlos.Pareja@hhsnassaucountyny.us
J. Schneider, jschneider@oysterbay-ny.gov
P. Bluestein, Paul_Bluestein@oxy.com
T. Troutman, tim.troutman@covestro.com
A. Nesheiwat, alnesheiwat@sustainable-development-inc.com



NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Remediation, Remedial Bureau A
625 Broadway, 12th Floor, Albany, NY 12233-7015
P: (518) 402-9625 | F: (518) 402-9627
www.dec.ny.gov

September 29, 2017

John Brussel, P.E.
ARCADIS Inc.
110 Fayette Street
Syracuse, NY 13202

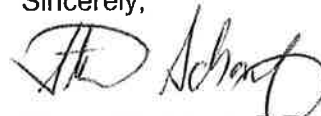
RE: Bayer OXY Hooker RUCO Polymer
OU4 Site Final Engineering Report,
NYSDEC Site No. 130004.

Dear Mr. Brussel:

The New York State Department of Environmental Conservation (NYSDEC) has reviewed the revised Final Engineering Report, submitted by ARCADIS, Inc. on behalf of Covestro Inc. (Formerly Bayer MaterialScience) and dated September 27, 2017. This Final Engineering report covers the Operable Unit (OU4) remedial action(s) and those of the previous corrective actions all undertaken as part of the site closure and remediation. All the comments were incorporated into the FER report. Therefore, the NYSDEC approves this OU4 FER Report as final pursuant to the OU4 Order on Consent.

Please contact me directly if you have any questions.

Sincerely,



Steven M. Scharf, P.E.
Project Engineer
Remedial Bureau A
Division of Environmental Remediation

CC: J. Swartwout, NYSDEC
W. Parish, NYSDEC
M. Negrelli, USEPA
R. Ockerby, NYSDOH
T. Troutman, Covestro
R. Smith, GSH
K. Schmidtke, GHD
A. Nesheiwat, SDI

FORM NYS-45

Attach most recent quarterly filing of Form NYS-45 and 45-ATT, as well as the most recent fourth quarter filing. Please remove the employee social security numbers and note which employees are part-time.

OTHER ATTACHMENTS

Corporate Disclosure Statement for
**PICTOR NASSAU
LOGISTICS CENTER LLC**

Re: County of Nassau IDA Application for Financial Assistance as amended and assigned from time to time PICTOR NASSAU LOGISTICS CENTER LLC is a wholly-owned indirect subsidiary of Brookfield Strategic Real Estate Partners IV (“BSREP IV”). No BSREP IV investor indirectly owns 10% or more of PICTOR NASSAU LOGISTICS CENTER LLC other than Brookfield Asset Management Inc. Brookfield Asset Management Inc. (“BAM”) has approximately one and a half billion Class A limited voting shares which are publicly traded on the New York and Toronto stock exchanges. BAM also has 85,120 Class B limited voting shares which are all held by BAM Partners Trust. The beneficial interests in BAM Partners Trust are held by a group of longstanding senior lenders of BAM.

For more information on Brookfield Asset Management's share structure, please refer to the following public filings:

Form 40-F filing (2020 Annual Report):

<https://bam.brookfield.com/sites/brookfield-ir/files/brookfield/bam/annual-reports/2020/bam-annual-report-2020-v4.pdf>

Q1 2021 Interim Report:

<https://bam.brookfield.com/sites/brookfield-ir/files/brookfield/bam/quarterly-reports/2021/second-quarter/bam-2021-q2interim-f.pdf>

EXHIBIT A

Upon acceptance of the Application by the Agency for processing and completion of the Cost/Benefit Analysis, the Agency will attach a proposed PILOT Schedule hereto, together with an estimate of the net tax benefit/cost of the proposed PILOT Schedule.

EXHIBIT B

Fair Housing/Equal Housing Opportunity Policy to be adopted by Agency Applicants for Housing Projects

As part of our continuing effort to ensure compliance with federal, state, and local anti-discrimination laws, we would like to take this opportunity to remind you of our policies regarding equal housing opportunity. It is important for all employees to review his or her own actions in light of these requirements and for everyone to keep in mind the importance of treating all persons equally.

It is the policy and practice of this company not to engage in or assist the efforts of others to engage in housing discrimination. Consistent with that policy, we remind you that the antidiscrimination laws of the United States, New York State, and local laws are quite specific in the area of housing, and in conformance with those laws, you must not engage in any of the following conduct during the course of your work for this company:

1. Refuse to show, rent, sell, negotiate for the rental or sale of, or otherwise make unavailable or deny, housing to any person because of race, color, religion, creed, sex/gender, familial status (having or expecting a child under 18), national origin, ethnicity, disability, marital status, age, sexual orientation, military status, source of income or status as survivor of domestic violence (each a "prohibited basis");
2. Discriminate against any person in the terms, conditions or privileges of a rental or sale or in the provision of services or facilities in connection therewith because of a prohibited basis;
3. Make any verbal or written statement with respect to the rental or sale of housing that indicates any preference, limitation or discrimination concerning a prohibited basis, or any statement indicating an intention to make any such preference, limitation or discrimination;
4. Represent to any person because of a prohibited basis that any housing or unit is not available for inspection, rental or sale when such apartment is in fact so available;
5. Steer persons into or away from certain areas of a building, development or neighborhood because of a prohibited basis;
6. Refuse to provide a reasonable accommodation in rules, policies, practices or services for tenants, buyers, or applicants with disabilities; and
7. Refuse to allow a reasonable modification to individual units or common areas for tenants, buyers, or applicants with disabilities.

We are firmly committed to the goal of fair housing. You should understand that any violation of this Fair Housing/Equal Housing Opportunity Policy will lead to discipline, up to and including discharge.

EXHIBIT C

Sample Fair Housing Posters

U. S. Department of Housing and Urban Development



EQUAL HOUSING
OPPORTUNITY

**We Do Business in Accordance With the Federal Fair
Housing Law**

(The Fair Housing Amendments Act of 1988)

**It is illegal to Discriminate Against Any Person
Because of Race, Color, Religion, Sex,
Handicap, Familial Status, or National Origin**

- In the sale or rental of housing or residential lots
- In the provision of real estate brokerage services
- In advertising the sale or rental of housing
- In the appraisal of housing
- In the financing of housing
- Blockbusting is also illegal

Anyone who feels he or she has been
discriminated against may file a complaint of
housing discrimination:

1-800-669-9777 (Toll Free)

1-800-927-9275 (TTY)

www.hud.gov/fairhousing

U.S. Department of Housing and
Urban Development
Assistant Secretary for Fair Housing and
Equal Opportunity
Washington, D.C. 20410

Previous editions are obsolete

Form HUD-928.1 (6/2011)

HOUSING
DISCRIMINATION IS
SOMETIMES **BLATANT**,
SOMETIMES **SUBTLE**,
BUT ALWAYS **UNLAWFUL**.



DO YOU SUSPECT YOU HAVE BEEN DISCRIMINATED AGAINST BECAUSE OF YOUR AGE, RACE, DISABILITY, FAMILIAL STATUS, OR BECAUSE YOU ARE A MEMBER OF OTHER PROTECTED CLASSES? IF YOU WITNESS OR EXPERIENCE DISCRIMINATION, CONTACT THE NEW YORK STATE DIVISION OF HUMAN RIGHTS AT 1-888-392-3644 OR WWW.DHR.NY.GOV.

The information on this page is provided for informational purposes only. It is not intended to constitute an offer of insurance or any other financial product.



EXHIBIT D
Requirements for Affirmative Marketing Plans for Housing Projects

Affirmative marketing plans submitted by the Applicant shall be required only for affordable or “workforce” units and shall contain the following information:

1. Street address, village, town, zip code, and census tract number for the Project;
2. Number of affordable units to be marketed and whether they will be available for rent or purchase;
3. The number, if any, and location of market rate units included in the Project;
4. Whether the housing will be “housing for older persons”, defined as at least 80% occupancy of units with at least one person 55 or older or 100% occupancy of persons age 62 or older;
5. A description of how units will be advertised for sale or rental prior to first occupancy, including whether Applicant will utilize its own website, commercial websites, print media outlets, social media outlets such as Facebook, a sign at the project site, mailings, leaflets/flyers, brochures, and other forms of advertising;
6. A statement that the Applicant will use fair housing logo or phrase “Equal Housing Opportunity” on all advertising described above;
7. A statement that the Applicant will distribute written information regarding the availability of affordable units at the project to a list of organizations provided to the Applicant by the Agency, which list may be updated annually;
8. Whether the Applicant will conduct the marketing and initial rent-up or sales itself or contract with a third-party;
9. A statement that an initial application period with a specific start and end date will be utilized for accepting applications for consideration for the initial rental of the units and that the period will last for at least thirty (30) days after the marketing described in this plan is commenced. In addition, a statement that following the initial application period, all the applications submitted during the initial application period will be considered through the use of a lottery and not on a first-come first-served basis, unless the number of applications received during the initial application period is less than the total number of units available for rental.
10. A statement that the Applicant will maintain records of the activities it undertakes to implement its marketing plan.